

DEVELOPER PROPOSAL SUBMITTED TO:

Alicia Dicks, President, FSMC
c/o Joseph Schell, President
SUNY College of Nanoscale Science and Engineering
257 Fuller Road
Albany, NY 12203

SUBMITTED BY:

Buckingham-LeChase Development, LLC
TEAM CONTACT:
Stephen L. Bills, LEED® AP
Vice President
steve.bills@leCHASE.com
p: 585.738.1820



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PARTNERSHIP IN GREATER ROCHESTER AREA

July 11, 2014

JULY 11, 2014

Buckingham-LeChase Development, LLC
 259 Alexander Street
 Rochester, NY 14607



Alicia Dicks, President, FSMC
 c/o Joseph Schell, Procurement
 SUNY College of Nanoscale Science and Engineering
 257 Fuller Road
 Albany, NY 12203

Re: Developer in Greater Rochester Area

Dear Alicia:

Buckingham-LeChase Development, LLC is highly appreciative of the opportunity to present our proposal to partner with Fort Schuyler Management Corporation (FSMC) on Rochester area developments. We've assembled a team of firms and individuals who believe in and exhibit a partnership mentality and are committed to exceeding the goals and expectations for these initiatives. Our experienced team can bring capital resources, relevant knowledge, local relationships and technology expertise. Buckingham-LeChase Development can provide the full spectrum of required services including tenant recruitment, site selection/acquisition, financing, design, construction, leasing and property management.



FINANCING: Buckingham-LeChase Development is willing and able to provide financial resources in support of local FSMC developments. In addition to our team's access to commercial capital, LeChase is financially strong with annual revenues exceeding \$700 million, a bonding capacity of over \$600 million and \$0 financial debt. LeChase has demonstrated financial commitment and creativity to support clients including providing construction financing if necessary. Buckingham's portfolio exceeds 10 million SF with \$100 million of acquisitions in just the past three years. Buckingham has substantial resources and has demonstrated financial capacity and commitment by investing up-front capital for development projects. As members of the local community, Buckingham-LeChase Development realizes the importance of economic development and is willing to fund projects that benefit the community in which we live and work.



PUBLIC-PRIVATE PARTNERSHIPS (P3): Buckingham is currently part of a public-private partnership for the Tower at Midtown, a 396,000 SF mixed-use development in downtown Rochester. Harris Beach, local corporate attorneys, bring considerable experience with P3 projects and will be a valuable resource. Our team understands the importance of maintaining positive relationships with the local public community, proactively leveraging all city, county and state investment opportunities, communicating openly with all stakeholders, developing long-term relationships and establishing a return on the investment for overall project success.



TECHNOLOGY: One of FSMC's goals is to attract high-tech firms and our team has extensive expertise with these specialty spaces. LeChase has a solid background in laboratories, cleanrooms, state-of-the-art conference rooms/classrooms, medical spaces and sustainable technologies/facilities. Buckingham's portfolio includes high-tech manufacturing space, state-of-the-art conference rooms, medical office build-



ings and industrial facilities. Infrastructure is an industry leader and current partner of CSNE for technology infrastructure and R. Kraft, Inc. brings cleanroom expertise to our team. Our team's proven track record with these types of spaces will ensure our ability to meet FSMC's and its tenant's expectations.



RECRUITMENT OF TENANTS: Buckingham and LeChase are both headquartered in Rochester. Our long-term presence in the area has enabled our firms to develop strong connections and relationships with local business leaders and public agencies and organizations. Our ability to reach out to our established networks will assist the partnership in recruiting tenants. We will also leverage the START-UP NY program if the site qualifies as well as any other applicable state, county or city programs. As evidence of our ability to attract tenants, Buckingham's properties consistently had a vacancy rate at or below 14% over the last five years which is better than the market average of 15.5%.



M/WBE PARTICIPATION: We have supplemented our project staff with personnel from two experienced, Rochester-based M/WBE firms. LeChase has worked with both Fisher Associates and Cummings Construction on numerous projects and trust their ability to successfully provide specialty services on projects that are part of this contract. Buckingham-LeChase Development will make every possible effort to achieve overall MBE/WBE participation goals not only within our own contract, but within the construction contracts as well.

Per RFP item # 5.A.a, the following individuals are authorized to negotiate and execute agreements on behalf of Buckingham-LeChase Development: Daniel J. Goldstein and William L. Mack.

In closing, Buckingham-LeChase believes we have compiled an incredibly capable team that is well prepared to provide the full range of services to meet Fort Schuyler Management Corporation's goals and expectations. Should you have any questions regarding our proposal or if you would like additional information, please do not hesitate to contact Stephen L. Bills at 585.738.1820.

Sincerely,
Buckingham-LeChase Development, LLC

Daniel J. Goldstein, CPA
Managing Partner

William L. Mack
Managing Partner



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Transmittal Letter

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** Included in separately sealed envelope*



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DEVELOPER PROPOSAL: PARTNERSHIP IN GREATER ROCHESTER AREA

About Buckingham-LeChase Development

Overview

Buckingham-LeChase Development, LLC is an extension of a partnership strategically developed a number of years ago to capitalize on the strength of two of Rochester, New York’s strongest and most successful real estate and construction firms. Buckingham Properties is known as a premier developer and manager of commercial real property in the Rochester area. LeChase Construction is equally regarded as a premier constructor of commercial real property in the Rochester market. We believe our companies grow even stronger when pooled together as one team. Together, we are committed to providing Fort Schuyler Management Corporation with a fully integrated team of professionals for the development, construction and management of future state-of-the-art facilities in the Greater Rochester Area.

Buckingham-LeChase Development provides a history of success and expertise in the development and construction of commercial real estate that is unmatched in the Greater Rochester Area. Buckingham-LeChase Development offers the highest level of expertise in property acquisition, design, development, construction, financing, leasing and operations. The two companies combine for over 110 years of experience in the commercial real estate industry. Within the Greater Rochester Area, Buckingham Properties owns and operates over 10 million square feet of commercial real estate and LeChase Construction has provided construction services for hundreds of facilities.

ABILITY TO MEET FSMC’s REQUIREMENTS	
Required qualifications	B-L Dev.
Large-scale projects	✓
15+ years experience	✓
Public-private partnership	✓
Headquarters in Rochester	✓
Local real estate market knowledge	✓
Local business connections	✓
Comprehensive capabilities	
• Acquisition	✓
• Planning	✓
• Financing	✓
• Design	✓
• Construction	✓
• Ownership	✓
• Operation	✓
• Marketing	✓
• Leasing	✓
Proven track record with	
• Mixed-use facilities	✓
• Class A office space	✓
• Electronic classrooms	✓
• Electronic conference rooms	✓
• High-tech lab spaces	✓
• Cleanrooms	✓
• Nanotechnology facilities	✓
• Medical buildings	✓
• Research & development spaces	✓
• Green energy infrastructure	✓
• Green/sustainable facilities	✓
MWBE participation compliance	✓
Multi-faceted budgets/financing	✓
Advanced tools / software	✓
Staffing / financial resources	✓
Fully committed	✓

About Buckingham Properties

Founded in 1970 by Larry Glazer, CEO and Managing Partner, Buckingham Properties is Rochester, NY's largest and most diverse real estate development and property management company. Buckingham controls and manages more than 60 sites which include in excess of 100 buildings and over 10 million SF space. Buckingham's diverse portfolio includes high-tech manufacturing facilities, industrial parks, warehouses, office buildings, medical office buildings, apartments and large-scale land development.



Buckingham Properties Corporate Offices

Buckingham Properties has expertise in all facets of the commercial real estate industry, including site selection and approvals, property development and redevelopment, construction and construction management, finance, leasing and building operations. Buckingham's skilled property management team manages and maintains all properties in the portfolio.

Leasing

Buckingham maintains a team of experienced, in-house leasing agents, who work diligently to keep the portfolio of over 10 million square occupied with tenants. In 2013, the Buckingham successfully leased over 1.1 million square feet of commercial space with rents valued in excess of \$24 million. Buckingham agents specialize in tenant relations, and work to examine a tenant's needs - from location, to operations, transportation patterns, sustainability, as well as accommodations for future growth. Buckingham's diverse portfolio of properties will suit the needs of any business and provide flexibility for business growth as tenants have new requirements.

Property Management

Buckingham provides unparalleled in-house property management services including on-site maintenance and management services to all buildings and projects. Emergencies are addressed immediately through on-call Property Managers 24 hours a day, 7 days a week, 365 days a year.

Development

Buckingham Properties provides creative and flexible real estate solutions for development projects and specializes in the acquisition of unique land sites, speculative development, adaptive re-use and redevelopment of existing facilities to complement the single tenant build-to-suit and fee development programs. Buckingham keeps a bank of development land, currently 650 acres, which allows the team to move quickly to put new projects together. The Company has the ability to seamlessly assemble the appropriate team for each development project through utilizing its depth of experience and long-term relationships with architects and engineers to ensure a smooth project from start to finish.

Financing

Buckingham Properties is well known for structuring and securing creative financing options to provide flexible financial solutions for complicated acquisitions and development projects. Buckingham maintains strong relationships with its stable of lenders, and possesses an in-depth understanding of tax credit programs and other available financial resources, such as federal and state incentives.

Public-Private Partnerships

Buckingham Properties is very proud of its history in regard to public-private partnerships and has experience working with city and state officials at all levels of government on complex development projects. A current example of such a partnership is the redevelopment of Midtown Tower in the heart of downtown Rochester, NY. The team understands the unique issues facing governmental entities and the sensitivities of intergovernmental relations, which may be particularly complex at the federal, state and local levels during major projects.

The Evolution of Buckingham Properties

In the company’s early years, Buckingham developed a strategy focused on achieving critical mass of its properties and then bundling them up into packages to sell. This provided the capital required to focus on larger and more financially rewarding projects. In the mid- to late- 1980s, Buckingham acquired several vacant, single tenant facilities and adapted them into multi-tenant properties. Notable projects from this time included a former Kodak Facility on Buffalo Road of approximately 500,000 square feet, and the former 622,000 square foot Ragu Sauce Plant on Lyell Avenue. These two facilities are now home to TRANE, American Aerogel, the United States Postal Service, Volunteers of America, and Private Label Foods, among others.

As the company continued its growth into the 21st century, Buckingham became known for its adaptive reuse and redevelopment of existing buildings and its ability to breathe new life into some of the most tired, older



facilities. Notable downtown Rochester adaptive reuse projects include what is today known as Buckingham Commons (the former ArtCraft Optical Building) which was converted into four floors of residential loft apartments, and three floors of brand new, high end office space; as well as the Alexander Park Professional Center, a campus of five buildings totaling 400,000 square feet of fully leased medical and general office space (formerly the Genesee Hospital).

In addition to adaptive reuse of existing buildings, Buckingham also created new opportunities to grow during this time period by focusing on ground-up development projects. Some examples of new development projects include Oak Hill Commons, a retail and office complex in Pittsford, NY, and Stoney Creek Business Center in Greece, NY. In addition to constructing the Stoney Creek new retail plaza, Buckingham also built

Bryant & Stratton College's newest campus as a build-to-suit project, as well as a new Doodle Bugs! Child Care Center, at the Stoney Creek campus. Also during this time, Buckingham constructed a 125,000 square foot build-to-suit industrial distribution facility for American Tire Distributors near the Rochester airport.

Buckingham has earned a reputation for successful redevelopment and development projects over its history, as well as for the strength of property management services it provides to its properties. Today, Buckingham has increased its presence in the Rochester commercial development community as it has also become known for more complex and visible development projects, including The Tower at Midtown, a 400,000 square foot mixed-use project in the heart of downtown Rochester. This Rochester icon is currently under construction with scheduled completion in 2015. Additionally, Buckingham is continuing its redevelopment of the old Genesee Hospital site, with the addition of 126,000 square feet of new commercial and residential space along Alexander Street near Park Avenue in Rochester.



The Tower at Midtown

About LeChase Construction

Overview

LeChase Construction is a full-service construction management and general construction firm with extensive experience in a wide range of industries. Our corporate headquarters is based in Rochester, NY and we are also located in Albany, Binghamton, Buffalo, Corning, Ithaca and Syracuse, NY; Charlotte and Durham, NC; and Mansfield, PA. We offer development, design-build, construction management, general construction and facilities management services.

As a highly diversified construction management and general construction firm, we have experience managing projects in many industry segments including:

- Industrial & manufacturing
- Science & technology
- Commercial
- Health care
- Education

COMPANY OVERVIEW

History

The LeChase name has been synonymous with building construction since Raymond F. LeChase founded the company in 1944. As President and Chief Executive Officer, Mr. LeChase provided remarkable construction and business expertise to sustain an impressive success and growth record.

In 1981, Raymond Wayne LeChase succeeded his father as President and Chief Executive Officer. This change in leadership renewed motivation company-wide, provided a fresh management style and attracted extremely qualified construction people. Capitalizing on this wealth of new talent, Wayne opened up management of the company to a team of partners in the mid-1990s, and in 2002, appointed William H. Goodrich as President and Chief Operation Officer. Bill's passion for excellence is keenly focused on maintaining the company's core philosophies of safety, integrity, honesty, quality workmanship and community service. In 2007 Wayne became Chairman of the company, and appointed Bill as President and Chief Executive Officer.



MISSION STATEMENT
LECHASE CONSTRUCTION IS COMMITTED TO BUILDING STRONG PARTNERSHIPS WITH OUR CUSTOMERS, OUR EMPLOYEES AND OUR COMMUNITIES THROUGH SAFETY, QUALITY, INTEGRITY AND VALUES.

The LeChase Way: "Do the Right Thing"

Safety. The goal at LeChase is to be the most safety-conscious organization. We are fully committed to maintaining the safest possible position for our employees, subcontractors, customers and the community at large. We consistently strive to improve our safety record and improve overall construction through safety programs aimed at eliminating the risk of injury.

Quality and Excellence. LeChase has a policy of continual quality improvement of its organization, methods, products and services. LeChase is committed to raising the standards resulting in developing cutting edge construction solutions and building partnerships based on common goals for world-class results. At all levels of our organization, people have the power and the responsibility to reach excellence at every touch point. Achieving excellence in safety, quality, performance, communication, relationships, building standards and other responsibilities is our constant challenge to ourselves.

Integrity. LeChase was founded on a code of conduct based on the highest professional and ethical standards. Corporate culture and values guide LeChase in all relationships with employees, customers, vendors and the community. Employees must strictly adhere to our customer's policies, procedures and restrictions including communications, confidentiality and intellectual property. We will not refuse to be flexible, non-complacent or not competitive while maintaining our strong values and always following our credo of "Do the Right Thing."

Customer-focused. The difference between ordinary service and extraordinary service is attitude. Without our customers, we have nothing. Our priority begins on our customers and their needs. Helping them to find solutions that will help them achieve their objectives. We are continuously striving to better serve our customers, as an existing satisfied customer will not only be kept, but we also intend acquiring new customers through referrals.

Accountability. LeChase will be held accountable to customers, vendors, employees and the community to perform according to agreed-on terms, within a specified time period, and with a stipulated level of resources and performance standards.


Diversity. LeChase fosters an inclusive environment of mutual respect, free from racism, sexism and other forms of prejudice and intolerance. The unique talents and perspectives of each customer, employee and vendor are understood, valued, respected and leveraged. LeChase's commitment to diversity supports our vision, business strategies, corporate behavior and relationships with customers and communities in a manner that enables us to reach our full potential.

Fiduciary Responsibility. LeChase believes that great companies are built on a foundation of reliable financial information. We practice appropriate financial reporting practices, and we devote our full resources to ensuring that those policies are applied properly and consistently to our customers, employees and vendors. We do this to ensure fair pricing to our customers and fair returns to our employees.

Opportunity/Growth. LeChase strives for both internal and external growth. Internally, we encourage leadership to bring and continuing education at all levels. Our people are the best, and we strive to be continually better. Externally, LeChase ventures to grow the business via strategic mergers, acquisitions and internal volume through loyal customers, customer referrals and market penetration.

Promoting Family, Health & Wellness. LeChase knows that a good work environment is one that's just having a nice office space. We know the importance of flexibility for doctor's appointments, family vacations, school functions and traveling to visit children, among other things. So when our people are going to work, we make sure they have time to dedicate to their health and family. It has created a healthy work environment focused on wellness, growth and total commitment, while encouraging a balanced lifestyle that includes family and fun time.

Social Responsibility. LeChase believes our construction activities is a mission that is inherently meant to exceed the ethical, legal and community expectations that society has of business. Social responsibility is a guiding principle for every decision made in every area of our business. Through our "green initiatives," our integrable sustainable building practices into our daily business operations, and in our design and construction processes to create cleaner, healthier buildings. We care deeply for the community, our customers, our vendors and our employees, and want to improve the quality of life in the communities to which we live and work.

LeChase, Building Partnerships.


The continuous stability of LeChase Construction stems from the dedication, interest, loyalty and hard work of our entire organization. These characteristics define the success culture embraced by our executive team and all members of our company. This culture has and will continue to motivate and provide the necessary environment to recruit and maintain talented people who are the main assets behind our success.

Experienced Local Staff

We have a dedicated staff of 700 construction professionals that includes executives, managers, estimators, superintendents, project engineers and supporting staff. We offer in-house, local expertise and experience in the fields of value engineering, estimating, contracts, scheduling, cost controls, safety, building information modeling and LEED®.

Local presence and relationships

Headquartered in Rochester, LeChase is a member of the local community. We have the ability to respond quickly to Fort Schuyler Management Corporation's needs during the initial five-year agreement, the renewal option periods and for any future work beyond those dates.

COMPANY OVERVIEW

Our 70-year-old firm has established solid relationships with many prominent companies in the area including Kodak, Xerox, Bausch+Lomb, University of Rochester, Rochester Institute of Technology, General Motors, ITT Exelis and many others. We also have provided services to many start-ups in the region. A map depicting some of our experience in downtown Rochester is included below. Our extensive knowledge of and relationships with the local business community and governmental agencies will assist Fort Schuyler Management Corporation in driving development initiatives forward.



**LeChase—
Quick Facts**

Headquarters..... Rochester

Year established..... 1944

Office locations..... 10

of employees 700

Bonding capacity \$800+ million

Annual revenues..... \$700+ million

**Buckingham—
Quick Facts**

Headquarters..... Rochester

Year established..... 1970

Properties 60+

SF managed 10+ million



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DEVELOPER PROPOSAL: PARTNERSHIP IN GREATER ROCHESTER AREA

PROJECT TEAM

We have assembled a project team and organizational structure to achieve efficient and effective planning and implementation for development initiatives. Throughout the entire term of the contract and the various stages of individual projects let under the contract, Daniel Goldstein, CPA and William Mack will serve as our team's main points of contact for Fort Schuyler Management Corporation. This consistency in the management team will benefit Fort Schuyler Management Corporation by streamlining communication and ensuring projects transition seamlessly and efficiently through all stages.

As projects progress from site selection and acquisition through to property management, Will and Dan will be supported by individuals who are highly experienced and knowledgeable in specific phases of the process. Those key team members include:

- Site selection / acquisition—Laurence Glazer
- Financing—Richard Finley III, CPA
- Design—Ken Glazer, CCIM, AIA, LEED® AP
- Construction—Stephen Bills, LEED® AP
- Leasing—Joseph Rowley
- Property management—Harold Gavens, CPMM

We have also supplemented Buckingham-LeChase Development's project personnel with subconsultants enabling our team to provide a full suite of services under this contract. Harris Beach was founded in Rochester over 150 years ago and the firm brings corporate law expertise specifically in the commercial real estate and construction practice areas. Bergmann Associates is a full-service design firm headquartered in Rochester.



LeChase has a history of successfully working with Bergmann going back to the early-1990s and both of our firms have worked successfully in the existing Fuller Road Management Company facilities in Canandaigua, NY and Rochester, NY. Our firms have established relationships and are accustomed to working with one another to meet project goals. Also joining our team is Nfrastructure, providers of mission-critical technology infrastructure, as well as our cleanroom consultant, R. Kraft, Inc.

Also supporting our team are Rochester-based M/WBE firms who LeChase has worked with numerous times in the past and who will add value to our team. During the design phase, Fisher Associates (WBE) will provide engineering support. During construction, Charles Cummings, LEED® AP with Cummings Construction (MBE) will provide general construction services. We have established relationships with these firms and trust their ability to successfully provide quality services on projects under this term contract.

Resumes detailing each team member's background and specific expertise as well as an organizational chart are included in this section.

PROJECT TEAM ORGANIZATIONAL CHART

FORT SCHUYLER MANAGEMENT CORPORATION

BUCKINGHAM-LECHASE DEVELOPMENT

Laurence C. Glazer, CEO & Managing Partner (Buckingham)
R. Wayne LeChase, Chairman (LeChase)
William H. Goodrich, President & CEO (LeChase)
 CORPORATE LEADERSHIP

PROJECT EXECUTIVES

Daniel J. Goldstein, CPA & William L. Mack
 Managing Members



Site Selection / Acquisition

Laurence C. Glazer
 CEO & Managing Partner

HARRIS BEACH
 Frank Pavia

Financing

Richard I. Finley III, CPA
 Chief Financial Officer

Design

Ken Glazer, CCIM, AIA, LEED® AP
 Dir. of Dev. & Arch. Serv. / Partner

BERGMANN ASSOCIATES
 Steve Boisvert, P.E.

FISHER ASSOCIATES [WBE]
 F. Claire Fisher, P.E., LEED® AP

NFRASTRUCTURE
 Tony Felt
Technology Consultant

R. KRAFT, INC. (RKI)
 Ralph Kraft
Cleanroom Consultant

Construction

Stephen L. Bills, LEED® AP
 Vice President

Richard D. Allen
 Vice President of Preconstruction

CUMMINGS CONSTRUCTION [MBE]
 Charles Cummings, LEED® AP
 President & CEO

Leasing

Joseph Rowley
 Dir. of Leasing & Marketing

Property Management

Harold Gavens, CPMM
 Dir. of Operations



LAURENCE GLAZER

Laurence C. Glazer co-founded Buckingham Properties in 1970 and today serves as Chief Executive Officer and Managing Partner of the Company. After earning a Master's degree in Finance in 1969 from Columbia University, Larry sharpened his financial and analytical skills by creating and managing his own private hedge fund. In 1971, Larry entered the private manufacturing industry and quickly became the CEO of Great Lakes Press, a major Rochester-based printing company. This experience provided Larry a first-hand understanding of the needs and concerns of the business owners who have become the core of Buckingham's tenant-base.

The sale of the printing company in 1983 gave Larry the opportunity to focus his time and energy on developing his real estate portfolio. Buckingham Properties currently owns and manages more than 52 properties totaling over 10 million square feet in the Greater Rochester/Finger Lakes region. Holdings include industrial, office, medical office, retail, residential and mixed use/flex space; and prime vacant land ready for new-build opportunities.

The combination of Larry's financial, analytical and operational skills provides Buckingham Properties a CEO who is able to successfully lead the Company through the many opportunities and challenges encountered by a growing real estate development and management company. Buckingham has successfully taken on redevelopment challenges such as the ArtCraft Optical Building - now Buckingham Commons; the Michaels-Stern Building, the Bausch & Lomb Frame Center on Paul Road - now the Paul Road Business Center, and a host of others.

Larry is an active Board Member of ESL Federal Credit Union, Rochester Downtown Development Corporation, Monroe Community College, the Jewish Home of Rochester, Rochester Business Alliance and co-chairs the WXXI Comprehensive Capital Campaign with his wife Jane. Larry and Jane also chair the United Way Alexis De Tocqueville Society.

EXPERIENCE

Chief Executive Officer & Managing Partner: 1970 to present— Buckingham Properties LLC

Chief Executive Officer: 1971 to 1983— Great Lakes Press

EDUCATION & TRAINING**Columbia University**

Masters, Finance

AFFILIATIONS

Board Member, Rochester Downtown Development Corporation

Board Member, Rochester Business Alliance

Board Member, Monroe Community College

Board Member, Rochester District Heating Cooperative

Board Member, ESL Federal Credit Union

Board Member, The Jewish Home of Rochester

Board Member, WXXI Comprehensive Capital Campaign

President, TBM Owners and Pilots Association



Daniel J. Goldstein, CPA is currently a partner at Buckingham Properties LLC where he serves on its Senior Management Committee. Dan previously served as the Chief Financial Officer of the company through May 2014, when he was asked to lead Buckingham's newest venture, the formation and operation of a real estate investment trust. Dan became the President and Managing Director of the Buckingham Net Leased Properties Group effective January 2014, as well as the managing member of the asset management firm formed to run the day to day operations of the REIT, Buckingham Properties Asset Management. Dan's expertise in the areas of business strategy, capital raising, complex partnership and joint venture structures, as well as his previous role as CFO of Buckingham Properties, provides Buckingham with an experienced senior executive to help navigate the strategic growth of the firm and its business relationships.

NOTABLE ACHIEVEMENTS

- **Purchase and Lease-back of the Former Genesee Hospital**

The 2006 acquisition and partial lease-back of the 16-acre Genesee Hospital campus required complex negotiation for both the purchase and sale, as well as the lease terms. In addition, financing was complicated by the existence of the original 750,000 square feet of old hospital buildings on the site that needed to be demolished. The structure required a conversion of the site into multiple tax parcels and a complex series of financing components with multiple lending sources.

- **Purchase and Lease-back of Xerox Square**

The 2013 acquisition and simultaneous lease-back of the 880,000 square foot Rochester high-rise building required strategic and aggressive negotiation with Xerox Corp, as well as a complex financing structure to allow for a modest term for the lease-back.

- **Buckingham Net Leased Properties Group**

The formation and capitalization of the new Real Estate Investment Trust was a 2 year process requiring the formation of four new legal entities as well as the creation of a voluminous Private Placement Memorandum to promote the opportunity to accredited 3rd party investors.

EXPERIENCE

Partner: 2007 to present—Buckingham Properties LLC

President & Managing Director: 2014 to present—Buckingham Net Leased Properties Group LLC

Chief Financial Officer: 2001 to 2014—Buckingham Properties LLC

Partner: 1997 to 2001—Goldstein, Frederickson & Sirianni

EDUCATION & TRAINING

University of Michigan

Bachelor's Degree; Concentration in Accounting & Finance

Certified Public Accountant: 1996-current

AFFILIATIONS

Forty Under 40, Rochester Business Journal, 2009

Vice President & Board of Directors, Jewish Community Center of Greater Rochester (JCC)

Chairman, Building Expansion & Renovation Committee, Jewish Community Center of Greater Rochester (JCC)

Board of Directors, Temple Beth El Congregation, Rochester, NY



Joining Buckingham Properties in 2012, Rich brings 10 years of experience to the Finance and Admin Department and Senior Management team. Previously, Rich worked as Controller, Estimator and Project Manager for a large heavy highway contractor in the Rochester area.

His responsibilities at Buckingham Properties include financing a portfolio of properties in excess of 10 million square feet, oversight of budget development and reporting, oversight of the monthly closings, and the day-to-day tasks of overseeing the Finance and Administration Department.

Rich specializes in public-private partnerships, having successfully partnered with various government agencies on dozens of real estate and construction projects. Rich is a SUNY Brockport graduate and a Certified Public Accountant.

NOTABLE ACHIEVEMENTS

- **The Tower at Midtown**

The Tower at Midtown project in the Central Business District at the heart of Downtown Rochester is a \$57 million redevelopment of the 360,000 square foot former Midtown Mall. Part of the Midtown Rising initiative, the project is a public-private partnership with New York State, the County of Monroe, the City of Rochester and the private developers. Rich worked directly with the various government agencies and a syndication of multiple institutional lenders to structure a mutually beneficial financing package.

- **General Financing**

Over the past two years, Rich has successfully financed real estate projects in excess of \$100 million. The projects range from new-build construction, renovation, stressed and stabilized real estate projects.

EXPERIENCE

Chief Financial Officer: 2014 to present— Buckingham Properties LLC

Corporate Controller: 2012 to 2014— Buckingham Properties LLC

EDUCATION & TRAINING

State University of New York at Brockport

Bachelor of Science, Accounting

Certified Public Accountant

AFFILIATIONS

Member, Construction Financial Managers Association

Member, Small Business Council of New York

Member, SBC Cares Committee

Member, American Institute of Certified Public Accountants (AICPA)



Ken serves as Director of Development and Architectural Services. Previous work experiences in New York, Chicago and Boston have provided Ken with a unique combination of CCIM, Architecture, LEED and development experience. Ken's ability to lead projects from conception through completion is a great asset.

RECENT MAJOR PROJECTS

- The Tower at Midtown**
 Redevelopment of the 397,000 square foot Midtown Tower located in Rochester's Center City. The project includes ground floor retail, two floors of modern office space, and 179 contemporary residential units on the upper floors.
- Alexander Park North Campus**
 Formerly the site of the Genesee Hospital, this project involves the development of eight acres of land in the City of Rochester to include office, retail and residential buildings as well as a new parking garage.
- Edge of the Wedge**
 Redevelopment of the former 40,000 square foot Ward Supply building located in the City of Rochester into an exciting mixed-use destination in the South Wedge neighborhood. Lower floors of the main building are planned for retail and office users, with upper floors targeted for offices and 30 converted residential lofts. Two attached high bay buildings offer additional retail and office space.
- American Tire Distributors**
 New distribution facility for American Tire Distributors (ATD) was developed-to-suit. Buckingham worked with a partner to complete the new 124,850 square foot distribution facility, which nearly doubled ATD's square footage.

EXPERIENCE

Director of Development & Architectural Services: 2005 to present—Buckingham Properties LLC

Outreach Project Consultant/LEED Manager: 2008 to 2009—Sustainable Performance Consultants Inc.

Project Architect/Designer: 2006 to 2008—DeWolff Partnership Architects

EDUCATION & TRAINING

University of Illinois

Master of Architecture

Lehigh University

Bachelor of Arts, Architecture

CCIM Institute

Certified Commercial Investment Member

United States Green Building Council

LEED Accredited Professional

National Council of Architectural Registration Boards (NCARB)

Certified

AFFILIATIONS

Member, New York State Commercial Association of Realtors (NYSCAR)
 Committee, American Institute of Architects (AIA) Rochester Chapter
 Founder & President, Construction Rochester



As a 28-year veteran of the commercial real estate market, Joe leads the leasing and marketing operation for Buckingham Properties' ten million square foot portfolio. In 2013, Joe led the leasing of over 1.1 million square feet of space totaling over \$24.3 million in value. Joe previously owned JD ROCK Real Estate, a real estate brokerage company focused on all aspects of commercial real estate, including assemblage of multiple parcels for retail development, sales and leasing of existing real estate, and build-to-suit transactions.

NOTABLE ACHIEVEMENTS

- Province at Rochester Institute of Technology**
 Assemblage of 13 parcels from 11 owners totalling 29 acres for Edwards Communities of Columbus, Ohio. Responsible for site, attorney and engineer selection, resulting in an 816-bed, 330-unit student housing project. Completed in August 2010.
- American Tire Distributors**
 New distribution facility for American Tire Distributors (ATD) was developed-to-suit. Buckingham worked with a partner to complete the new 124,850 square foot distribution facility, which nearly doubled ATD's square footage.
- Goodwill**
 Lease negotiations for over 94,000 square feet of industrial space for Goodwill of the Finger Lakes at Rochester Business Center.
- East House Corporation**
 Lease negotiations for 22,000 square feet of office space for ten years at Monroe Square.

EXPERIENCE

Director of Leasing & Marketing: 2012 to present—Buckingham Properties LLC

Vice President: 2002 to 2012—CBRE/Rochester, NY

Owner: Year to 2002—JD ROCK Real Estate

Sales Agent: 1985 to Year—Pyramid Brokerage Company

AFFILIATIONS

Past President, New York State Commercial Association of REALTORS (NYSCAR), 2012 to 2013

New York State President, NYSCAR, 2010 to 2011

Commercial Issues Working Group Chair, New York State Assembly of Realtors (NYSAR), 2011 (Over 50,000 members)

Organizational Planning Committee Member, NYSAR, 2006 to 2011

Legislative Steering Committee Member, NYCAR, 2006 to 2011

25 Year Member, Quarter Club of Rochester



HAROLD GAVENS, CPMM

Harold brings more than thirty years of experience in facilities engineering. He provides strategic leadership to Buckingham's facility maintenance and operations staff of over forty employees to operate and maintain over sixty properties including retail, office, industrial, and residential uses.

NOTABLE ACHIEVEMENTS

- **HVAC Upgrade Installation at 150 State Street**
Reviewed and changed scope of HVAC upgrade installation at Buckingham's office building at 150 State Street in Rochester, NY. Initial cost estimate of project was approximately \$1,000,000, however after review, the completed project, including refurbishing two air handlers that were abandoned in place and not in the original scope of work, cost just \$344,000 after a utility rebate, providing a savings of over 65%.
- **Parking Garage LED Conversion Lighting**
Researched and bid three parking garage LED lighting conversion projects, with a total estimated energy savings of over \$78,000 annually.
- **Ortho-Clinical Diagnostics (Johnson & Johnson)**
Managed facility operations for approximately 1,000,000 square feet of mixed use space including Class A offices, R&D laboratories, and manufacturing for Ortho-Clinical Diagnostics for 15 years. Created a highly skilled team to cut facility operations cost in excess of \$500,000 a year. Changed laboratory defined use to allow return air at a ratio of 70% for return / 30% fresh air rather than 100% fresh air, saving \$300,000 a year in energy charges for laboratory operation.

EXPERIENCE

Director of Operations: 2013 to present— Buckingham Properties LLC

Facility Supervisor/Engineer: Year to 2013— Ortho-Clinical Diagnostics

EDUCATION & TRAINING

Rochester Institute of Technology

Masters, Professional Studies, Facility Management & Project Management

Bachelor of Science, Mechanical Engineering Technology/Business Management

AFFILIATIONS

Board Member, Rochester District Heating Cooperative

Member, Building Owners and Managers Association (BOMA)

Certified Plant Maintenance Manager



CHAIRMAN

205 Indigo Creek Drive :: Rochester, NY 14626 :: 585-254-3510 :: wayne.lechase@lechase.com

As Chairman, R. Wayne LeChase has more than 20 years of executive leadership experience. He succeeded his father as President and Chief Executive Officer of LeChase Construction in 1981. This change in leadership renewed motivation company-wide, provided a fresh management style and attracted a new wealth of extremely qualified construction talent. In 1997, Wayne became a Managing Partner and in 2002, Chief Executive Officer of the company. In 2007, Wayne became Chairman and appointed William H. Goodrich as Chief Executive Officer.

Wayne is extremely active in the community and sits on a number of boards. He was awarded the Herbert W. Vanden Brul Entrepreneurial Award by the Rochester Institute of Technology's College of Business in 2004. In 2005, he was inducted into the Rochester Business Hall of Fame, a program created to recognize exemplary leaders who have made outstanding and enduring contributions to business and communities in the Greater Rochester region.

Wayne is an exemplary representative for those characteristics essential to LeChase Construction including safety, social responsibility, customer focus, accountability, excellence, diversity, fiduciary responsibility, opportunity/growth, promotion of family, and integrity.

EXPERIENCE

Chairman: 2009 to present—LeChase Construction Services, LLC

Chairman / Managing Partner: 2007 to 2009—LeChase Construction Services, LLC

Chief Executive Officer / Managing Partner: 2002 to 2007—LeChase Construction Services, LLC

Managing Partner: 1998 to present—LeChase Realty Services, LLC

President / Chief Executive Officer / Managing Partner:

1997 to 2002—LeChase Construction Services, LLC

President / Chief Executive Officer:

1979 to 1997—Raymond LeChase, Inc., LeChase Construction Services, LLC

Attorney at Law – Partner: 1971 to 1979—LaDuca, Offen and LeChase

Attorney at Law: 1968 to 1971—Johnson, Reif and Mullan

EDUCATION & TRAINING

John Carroll University

B.S., Business Administration

SUNY Buffalo, School of Law

Juris Doctorate

Admitted to the NYS Bar in 1968

St. John Fisher College

Honorary Degree, Doctor of Laws

CHAIRMAN

205 Indigo Creek Drive :: Rochester, NY 14626 :: 585.254.3510 :: wayne.lechase@lechase.com

AFFILIATIONS

Board of Commissioners, New York State Insurance Fund
 Board Member, Eastman Dental Center
 Board of Trustees, Greater Rochester Enterprise, Past Chairman
 Board of Trustees, Rochester Business Alliance, Executive Committee
 Board of Trustees, St. John Fisher College, Past Chair/Executive Committee
 Board of Trustees, Catholic Diocese of Rochester, Stewardship Council, Past Chairman
 Board of Trustees, NYS Commissioner Insurance Fund
 Board of Trustees, NYS Trooper Foundation
 Board of Trustees, McQuaid Jesuit High School, Executive Committee
 Board of Trustees, CMAC
 Board of Trustees, Otetiana Council – Boy Scouts of America, Honorary
 Board of Trustees, Center for Governmental Research, Honorary
 Board of Trustees, Rochester Museum and Science Center, Honorary
 Member, Executive Leadership Team, American Heart Association, Annual Heart Walk
 Member, Rump Group – Rochester Business Alliance
 Member, American Bar Association
 Member, Association of General Contractors
 Member, Rochester Business Alliance
 2009 Honorary Chair, Arts & Cultural Council for Greater Rochester Annual Arts Awards
 2009 Honorary Chair, MCCF Salute to Excellence
 2010 Honorary Chair, Golisano Children's Hospital

AWARDS

ABVI Visionary Award (1998)
 Alfred University Galanis Excellence in Family Business Award (2003)
 Catholic Family Center, CFC Award (1996)
 Gilda's Corporate Award (2001)
 Herbert W. Vanden Brul Entrepreneurial Award from RIT's College of Business (2004)
 Justinian Order Medal, Justinian Order of St. John Fisher College (2006)
 Otetiana Council's Distinguished Citizen Award
 Father Noonan Distinguished Alumnus Award (2004)
 Rochester Business Hall of Fame Inductee (2005)
 Edward Harris Award - Service to Veterans
 Man of the Year Award - Catholic Family Center
 Volunteer of the Year Award - Chamber of Commerce
 Knight of the Year Award - McQuaid Jesuit High School
 McQuaid Round Table (2008)

WILLIAM H. GOODRICH

In 2007, Bill Goodrich was appointed Chief Executive Officer of LeChase Construction. He was appointed President in 2002. Prior to these appointments Bill had been with LeChase since 1985.

In his present role, he is responsible for setting and defining the vision and culture of the organization, managing the day to day operations, promoting a safe work environment, fostering business opportunities and maintaining the core ideologies and philosophies of the organization.

Bill is instrumental in the on-going geographic expansion and managed growth of the organization.

EXPERIENCE

President / Chief Executive Officer: 2007 to present—LeChase Construction Services, LLC

President / Chief Operating Officer: 2002 to 2007—LeChase Construction Services, LLC

Chief Operating Officer: 1997 to 2002—LeChase Construction Services, LLC

Vice President: 1995 to 1997—LeChase Construction Services, LLC

Estimating Manager / Project Manager / Superintendent: 1989 to 1995—LeChase Construction Services, LLC

Project Manager: 1987 to 1989—Construction Advisors East, Inc.

Assistant Superintendent: 1985 to 1987—Raymond LeChase, Inc.

Assistant Project Manager: 1984 to 1985—John P. Bell and Son, Inc.

EDUCATION & TRAINING

Harvard Business School

Currently Pursuing Owner/President Management (OPM)

Roberts Wesleyan College

B.S., Business

SUNY Alfred Agricultural & Technology College

A.A.S., Construction Engineering Technology

SUNY Alfred Agricultural & Technology College

L.H.D., Honorary Doctor of Humane Letters

AFFILIATIONS

Board Member, NYS Trooper Foundation

Board Member, American Contractors Insurance Group (ACIG)

Board of Governors, Lifetime Healthcare Companies

Board of Governors, Hillside Children's Center

Board of Trustees, Keuka College

Advisory Board Member, EquiCenter

Advisory Board Member, Roberts Wesleyan College

Advisory Board Member, Otetiana Council of the Boy Scouts of America

Advisory Board Member, Junior Achievement

Member, Genesee Valley Club

Member, Youth President's Organization (YPO)

Member, American General Contractors (AGC)

Member, Oak Hill Country Club of Rochester

Member, United Way Alexis de Tocqueville Society

Former Board Member, Builders Exchange

Former Board Member, Burns Personnel, Inc.

Former Board Member, Nazareth Academy School

Former Board Member, Rochester Downtown Development Corporation (RDDC)



Since 1984, Steve Bills' career has been focused on construction management and includes work as a healthcare system associate. This position in healthcare administration provided valuable, first-hand experience in understanding and dealing with issues unique to construction from a true owner's perspective. His expertise guarantees the highest in quality and service to the construction industry.

ACHIEVEMENTS

- Belmont Abbey College
 - New Residence Halls
- Williams College
 - Weston Field Renovation
 - Preconstruction
- Amphenol Facility Reconstruction
- University of Rochester Medical Center
 - New Golisano Children's Hospital
 - Pediatric Replacement & Imaging Sciences Modernization (PRISM)
 - Preconstruction
- Unity Health Systems
 - Park Ridge Hospital Emergency Department
 - Ridgeway Medical Office Bldg.
 - St. Mary's/Park Ridge Hospital Service Reconfiguration Project
- SUNY Upstate Medical University Hosp.
 - Clinical Cancer Center
- Cornell University
 - Lynah Rink Renovation
 - Hoy Field Reconstruction
- Moakley House Alterations
- New Humanities Building
- Schoellkopf Hall
- Statler School of Hotel Administration
- A.O. Fox Hospital
 - ED/DI Expansion
- O'Connor Hospital
 - ED Expansion
- Bassett Healthcare
 - Various Projects
- Baywinde Senior Community
- Sisters of St. Joseph Motherhouse
- Bausch & Lomb Pharmaceuticals
 - Various Projects
- Rochester General Hospital Maternity Phase II Renovations
- University of Rochester Medical Center
 - "S" and "GG" Lab Renovations
 - 2100 Wing Lab Renovations
- Fairport Baptist Home
- Genesee Hospital Birthing Center
- Sisters of Mercy ILS
- St. Mary's Hospital
 - Radiology Renovations
- Johnson & Johnson NAD Facility
- A.O. Fox Memorial Hospital
 - Addition and Renovation
- Wilson Memorial Hospital
 - Addition and Renovation
- United Health Services
 - Capital Renovation Projects
- Binghamton General Hospital Addition
- Thompson Health
 - Project Advance
 - Sands Cancer Center
 - Expansion and Renovation
 - Nursing Home 40-bed SNF Addition

EXPERIENCE

Vice President: 1999 to present—LeChase Construction Services, LLC

Project Executive: 1995 to 1999—LeChase Construction Services, LLC

Construction Manager: 1993 to 1994—Thompson Health Systems, Inc.

Project Manager, Assistant Project Manager: 1989 to 1993—Morse Diesel International

Assistant Project Manager: 1988 to 1989—Construction Advisors East

Construction Manager, Management Trainee: 1984 to 1988—Agway, Inc. Building and Engineering Division

EDUCATION & TRAINING

Cornell University

B.S., Engineering

OSHA 30-hour Training

LEEDAP: USGBC Leadership in Energy & Environmental Design

AFFILIATIONS

Member, Rochester Heart Institute Advisory Panel

Member, American Hospital Association

Member, Society of Health Care Engineers

Alumni Advisor, Cornell University Entrepreneurship and Personal Enterprise Program

RICHARD D. ALLEN

VICE PRESIDENT OF PRECONSTRUCTION SERVICES

205 Indigo Creek Drive :: Rochester, NY 14626 :: 585.254.3510 :: rick.allen@lechase.com

Rick Allen is a construction professional with over 28 years of experience. As vice president of preconstruction he combines his knowledge and expertise in the fields of design and building to efficiently execute challenges that arise on projects. To Rick, preconstruction is more than quantity take-offs and pricing; the success of construction is highly dependent on the efforts and progress accomplished during the preconstruction phase of a project and it continues throughout the duration of the entire project life cycle. We use preconstruction to build and strengthen partnerships; it is where we have the best ability to influence the outcome of a project.

ACHIEVEMENTS

- Genencor - Various Projects
- Pfaudler, Inc. Skylight Repair
- General Motors - Multiple Projects
- Eastman Kodak - Multiple Projects
- Kimmel Metal Building Addition
- Arc Chemical - Multiple Projects
- VanLab - Multiple Projects
- Guardian Industries
 - Production / Mechanics Offices Renovation
 - Cullett Pad
 - Toilet Room Renovations
- Siemens Generator Pad replacement
- Rochester Plating Slab Repair
- Seneca Foods Trench Drain
- Coca-Cola - Multiple Projects
- Lighting Mixer Foundations & Dock Repair
- Praxis Bio Vaccine Research Facility
- Gates Fire District - Various Repairs
- Colony Plaza - Masonry Repairs
- Cable Wiedemer Office Renovations & Ramp Replacement
- ABW Bridge Caulking
- Waring Plaza
 - Post Office Renovation
 - Façade Restoration Project
 - Sidewalk Replacements
 - H & R Block Sign Replacement
- First American Equipment Finance Building Renovations
- Victor Farmington Volunteer Ambulance
 - Building Addition
- Arts & Cultural Council for Greater Rochester
 - Office Renovations
- Open Door Mission Fire Safety Upgrades
- Veterans Outreach Center
 - North Campus Addition & Renovation
 - Safety Upgrades
 - Building 2 Renovation
- GNC Valance Renovations
- Hertz Corp. Tire Rack Demo
- Calvary Automation S.O.D
- Show Shoes, Inc. Renovations
- Salvation Army
 - Multiple Projects
- Choice One Communications
 - Multiple Projects
- BlueCross/BlueShield Training Facility
- Dryden Theater
 - New Access Handicap Ramp
 - Toilet Room Renovations
- Arthur Anderson Renovations
- High Falls Parking Structure
 - Stair Replacement Project
- Three City Center Generator Enclosure
- Norry Management Renovations
- Irondequoit Country Club
 - Toilet Buildings
- Key Bank - Various Projects
- Frontier - Multiple Projects
- Charles Settlement House Renovations
- UNITE - Multiple Projects
- Gilda's Club Renovations
- Jillian's Entertainment
- Canalview Sidewalk Replacements
- Borders Books Renovations
- Citibank Generator Pad & Enclosure
- Monroe Community College
 - Dust Collector Pads
- Monroe County Resource Recovery Slab Replacement
- E.I. Dupont de Nemours Co, Inc. - Multiple Projects
- Bon-Ton Structural Repair Project
- Tops Market - Multiple projects
- Greece Ridge Mall Tenant Spaces
- Goodman Gardens Nursing Home Renovations
- Minnesota Mining and Milling Corp.
 - Multiple Projects
- Center at High Falls
 - Renovations & Additions
- First Federal
 - Parking Structure Ramp Renovations
 - 2nd Floor Renovation
- Powers Building Renovations
- WXXI Channel 21
 - Addition
- Valeo
 - Demo/Slab Replacements
- Irondequoit Mall
 - Concrete, Masonry & Tenant Fit-outs
- St. Ann's Home Nurse Station
 - Renovations
- Unity Health
 - Canal Ponds
 - Condenser Pit / Retaining Walls
- St. Mary's Hospital Kitchen Renovations
- St. Joseph's Church Renovations
- Holy Sepulchre Cemetary
 - Multiple Projects
- Sisters of St. Joseph Carmelite
 - Prayer Room
 - Elevator Install Project
- Sacred Heart Cathedral Renovations
- Sacred Heart Convent Renovations
- East Rochester HS
 - Pool Cover Reinforcement Project
- University of Rochester Medical Center
 - Imaging & Medical Office Building
- St. John Fisher College
 - Kearney Hall Renovations
 - Backflow Preventer Building Renovations
- Nazareth College
 - Math & Science Center
 - Campus Dorms & Foundations
 - Boiler House Masonry Repairs Project
- Syracuse University
 - Tolley Humanities Building
- Nazareth Hall Grammar School
 - Classroom Renovations

RICHARD D. ALLEN

VICE PRESIDENT OF PRECONSTRUCTION SERVICES
 205 Indigo Creek Drive :: Rochester, NY 14626 :: 585.254.3510 :: rick.allen@lechase.com

EXPERIENCE

Vice President: 2007 to present—LeChase Construction Services, LLC

Project Executive: 1997 to 2007—LeChase Construction Services, LLC

Project Manager / Assistant Project Manager, Estimator, Superintendent / Assistant Superintendent:
 1985 to 1997—LeChase Construction Services, LLC

EDUCATION & TRAINING

Rochester Institute of Technology

B.T., Civil Engineering

SUNY at Morrisville

A.A.S., Mechanical Engineering/Design Drafting

Monroe Community College

Optical Engineering Technology

Various Courses

OSHA 30-hour Safety Training Class

World Concrete – '97

Train the Trainer: Fred Pryor

Problem Solving

The Human Connection, Bringing Your Presentations to Life: Graceworks

How to Make Presentations with Confidence and Power: Fred Pryor

1997 AIA Standard Construction Documents Seminar

Financial Management for Non-Financial Managers - FMI

Negotiating Skills - FMI

Leadership Development Program: Leadership Coaching, Inc.

AFFILIATIONS

Board of Advisors, American Cancer Society

Member, Diocesan of Rochester Building Commission

Member, St. Matthew Catholic Church, Buildings & Grounds Committee

Member, Villa of Hope Golf & Gala Committee

Past Member, Board of Advisory Building Committee ABW

Past Member, CSI, Construction Standards Institute

Past Member, Junior Builders

Past Member, ASCE

STEVEN M. BOISVERT, PE

Regional Office Manager/
Business Segment Leader
Principal-in-Charge

Years Experience:

Total: 28
Bergmann: 28

Education:

- BS, Civil Engineering,
Old Dominion University, 1985

Licenses:

- New York
- Connecticut
- Maine
- Massachusetts
- New Hampshire
- Pennsylvania
- Vermont



"A positive attitude is the foundation of a positive result."

Mr. Boisvert has 28 years of civil/site engineering experience including managing multi-discipline projects as well as leading the firms Economic Development business segment which focuses on business and industrial growth. He has assisted several Economic Development Agencies in the preparation of grant applications under the Build NOW-NY initiative jointly sponsored by Empire State Development Corporation (ESDC) and the Governor's Office of Regulatory Reform. Working with Economic Development organizations on large industrial redevelopment projects he has developed an expertise in the site selection criteria used by national and international companies, as well as the (ESDC) "Shovel Ready" criteria and approval process. He also has a working knowledge of the NY State IDA's and the tax incentive benefit programs offered by the State.

He also has extensive knowledge of the New York State SEQRA Requirements having completed several environmental impact statements and has extensive experience obtaining municipal regulatory approvals through various city, town and state agencies.

PROJECT EXPERIENCE

Smart System Technology and Commercialization Center (STC) // Campus Master Plan // Canandaigua, NY // Principal-in-Charge. We provided planning, architectural programming and engineering services to support STC's objective of developing a 900,000 SF high-tech campus on the 57 acre property surrounding the existing facility at 5450 Campus Drive in Canandaigua. This included a Needs Assessment for the existing building, development of a Master Plan for development, SEQRA compliance and obtaining preliminary permits and approvals to make the campus as shovel ready as possible. STC's mission is to support regional economic development by enabling commercialization of "cutting edge" technologies that require access to state-of-the-art manufacturing infrastructure. STC has aggressively pursued industry-led partnerships taking up residence at the Center, and creating high-tech manufacturing jobs in support of economic development in the region. We also understand that STC was created as a result of the merger of the Centers of Excellence in Canandaigua and Albany Nanoscale Science & Engineering.

Schlumberger // Oil Field Services // Horseheads, NY // Principal-in-Charge. Obtained site plan approval for a development of approximately 88-acres for proposed Schlumberger Oil Field Service (OFS) Facility in Horseheads, NY. Facility will contain ±400,000 sf of building space. The facility will service Schlumberger vehicles that provide 24-hour support to natural gas drillers. Site consists of an Administration Building, Fueling Facility, Truck Wash, Maintenance Building, and Chemical Warehouse to service and stage fleet vehicles including 150 18 wheelers.



Worked closely with NYS DEC, Village MS4 Stormwater Officer, County Stormwater Coalition and Village Planning Board and Board of Trustees to obtain all necessary approvals. Site includes three High Density Polyethylene (HDPE) lined stormwater management facilities, hydrodynamic stormwater treatment units, spill containment devices, water tight storm sewers, work within a wetland buffer, protection of a historic site within the project limits. In addition to site plan preparation, required completion of wetland investigation, Traffic Impact Study, Wildlife Assessment, Phase 1 and Phase 1B Archaeological Survey, Noise Analysis, Air Quality Analysis, Stormwater Pollution Plan. Organized and presented at numerous public hearings and informational meetings to answer questions from citizens.

Canal Ponds // Johnson & Johnson R&D Research Lab // Greece, NY // Project Manager. 122,000 sq. ft. research lab facility within Canal Ponds. Work included site design and approvals.

Saratoga Technology Energy Park (STEP), NYSEDA // Environmental Assessment Report // Malta, New York // Project Manager. A Generic Environmental Assessment report in accordance with article 7 of the NYS Environmental Law. The project consists of 1.2 million sq. ft. of office, laboratory, pilot plant, retail, conference center and business center space on 280 acres owned by NYSEDA, in the town of Malta, New York. Services included an extensive traffic impact analysis, a visual assessment, along with quantitative evaluations on impacts to land, water, storm drainage, utility services, air, plants and animals, aesthetic resources, noise, archaeological resources, open space and recreation, alternatives, as well as unavoidable and adverse impacts. In addition, concept plans for the off-site highway improvements for the required mitigation measures, final design plans for the roadway, sanitary sewer main, and preliminary drainage calculations were provided.

Saratoga Technology & Energy Park (STEP), NYSEDA // Phase I, II, III Road and Infrastructure Design // Malta, New York // Project Manager. For the preparation of concept plans for the off-site highway improvements for the required mitigation measures, final design plans for the roadway, sanitary sewer main, and preliminary drainage calculations were provided. Prepared the master utility plan and initiated the design of the Phase I roadway and utility infrastructure design to serve the first building at 107 Hermes Road. This phase consisted of new horizontal and vertical road alignment design, pump station design, landscape architecture, and roadway lighting design. Our work also included extensive coordination with the CATV, electric and gas providers. This phase required that we design and permit the overall park's stormwater management plan and infrastructure in compliance with the NYSEDA regulations. In 2008, we provided full time construction administration services for the Phase I improvements. In addition, we designed the Phase II roadway improvements (Hermes Road widening) and updated the master utility plan to be consistent with the new master plan prepared by others. In 2009, we prepared preliminary design of the Phase III loop road as well as construction contract documents for the utility corridor extension to serve the HVCC TEC-SMART facility. Our services also included full time construction administration services for the utility extensions.

Saratoga Technology & Energy Park // Design Review Committee // Trusted Advisor. As a member of the "Trusted Advisor" four person design review committee, Mr. Boisvert conducted site plan, landscaping and building design review to determine compliance with the park design guidelines. Upon review of each application, he prepared the corresponding SEQR compliance review and compliance recommendation. We have provided such services for the following projects: 107 Hermes Road, the former DEC facility, Verizon cell tower, HVCC TEC-SMART building, and the height variance application for the wind turbines at TEC-SMART. As part of our DRC services, we have also provided improved site lighting at 10 Hermes Road, as well as provided advice and guidance on potential proposals submitted by developers for future buildings at STEP.

Pioneer Development Company // Canal Ponds Business Park // Greece, New York // Project Engineer/Manager. 300 acre parcel being developed for 1.1 million sq. ft. of office space, 1.4 million sq. ft. of industrial space, and 750,000 sq. ft. of retail space. Responsibilities included preparation of the DEIS and FEIS and the overall hydrology report utilizing TR-20 computer model simulation. Also responsible for the preparation of the Phase I and Phase II site improvements and construction drawings for the \$4 million infrastructure project. Phase I and II included a mile of multi-lane county and town roadways, associated utilities, and a 24 acre retention/detention pond. The project also involved extensive traffic impact studies, federal highway justification report, and breaking access of state right-of-way. The total estimate construction cost of the highway improvements is \$6 million.



Syracuse University // Research Park // Syracuse, NY // Project Engineer. 70 acre parcel being planned for 670,000 sq. ft. high-tech Research Park. Responsibilities included preliminary utility design for the proposed watermain improvements, including hydraulic design of a large supply tank and distribution system. Duties also included design of gravity sewer and pump station, hydrologic design of storm run-off management system, and roadway design.

Southern Tier Economic Growth (STEG) // Business Park Development Plan // Chemung County, NY // Project Manager. Recently completed business park development plan in Chemung County, New York. The purpose of the plan was to assess four different parcels and determine the viability and potential usage of each property along the I-86 corridor for business retention and expansion, based on the evaluation of several environmental factors such as access, infrastructure, wetlands, topography, zoning, etc. After assessing the four parcels, two were selected to be further studied from which a conceptual site development report and plan were prepared, including potential site locations, infrastructure needs, cost estimates, layout, zoning, SEQRA assessment and a Phase I Environmental Assessment.

Schuyler County Partnership for Economic Development (SCOPED) // Business Park // Town of Dix, Schuyler County, New York // Project Manager. Design and administration for the bidding and construction of a proposed Business Park in the Town of Dix, Schuyler County, New York. The project involved the development of a concept design into construction and contract documents. The project also involved conceptual design, preliminary design, advanced detail plans, final design, contract documents, bid administration, construction administration and construction inspection.

Steuben County Industrial Development Agency // SEQR Services, Finger Lakes Highland // Wayland, New York // Project Manager. Under our advisement, the project was approved with the flexibility to permit a wide range of potential projects, which will allow the development to be able to adapt to the change on market conditions. The IDA was the Lead Agent and we provided assistance and advised the IDA on all matters regarding the SEQR review for the 150 acre mixed use development. The project involved NYSDEC, SHPO, USACOE, NYSDOT, US Fish & Wildlife, and both the Village and Town of Wayland. Our role was to serve as an advisor to the IDA and the Owner both in strategizing how best to address the SEQR regulations, as well as provide technical review of all environmental documents, plans and engineering reports for the project on behalf of the Lead Agent.

Steuben County Industrial Development Agency // SEQR Services, Corning Community College // Corning, New York // Project Manager. Due to the anticipated resistance from the local residences, under our advisement, the SEQR scope was expanded, and as a result the SEQR record and Findings Statement withstood a challenge in court. The IDA was the Lead Agent and we provided assistance and advised IDA on all matters regarding the SEQR review for the Corning Community College Residential Initiative project consisting of a new building that will accommodate 310 students. The project is located on campus in the Town of Corning, N.Y. Our role was to serve as an advisor to the IDA and the Owner both in strategizing how best to address the SEQR regulations, as well as provide technical review of all environmental documents, plans and engineering reports for the project on behalf of the Lead Agent.

Eastman Kodak // KPV/KPY Master Plan // Greece, NY // Project Manager. Development of a general land use plan for 530+ acres of surplus property. Primary objective was to focus on developing a land use plan that had the greatest potential for successful implementation, given the overall market conditions and the location attributes of the project area. The plan identified and highlighted the existing physical site amenities, identified constraints, evaluated options and illustrated the general land use classifications.

Bethlehem Steel Corporation // Light Industrial Park // Lackawanna, New York // Project Manager. Site Development for a 115-acre Light Industrial park located in the northeast corner of Bethlehem Steel Corporations' site in Lackawanna, NY. Will work closely with both Bethlehem Steel and the Lackawanna Community Development Corporation to better define a suitable Industrial Park layout which LCDC can market, one that can be phased to minimize upfront infrastructure investment, yet allow immediate tenancy and retain flexibility for a wide range of potential industrial users. This plan will also emphasize immediate improvements to Route 5 frontage which will promote both the new Light Industrial Park, as well as create a "Gateway" to the entire North American Business Center.



Frank C. Pavia

Education

JD, 1992, and Certificate in Environmental Law,
Pace University School of Law
BA, 1988, Boston University

Admissions to Practice

New York State Bar
Connecticut State Bar
United States District Court
Western District of New York
Northern District of New York
Southern District of New York
United States Bankruptcy Court
Western Districts of New York
United States Court of Appeals
Second Circuit

Legal Practice

Mr. Pavia is a member of the firm. He practices in the Environmental, Public Finance and Economic Development, and Commercial Real Estate Practice Groups, and serves on the Real Estate Developers, Municipalities and Local Agencies, and Nanotechnology Industry Teams. Mr. Pavia focuses his practice on all aspects of environmental and land use law including, but not limited to, the Clean Water Act; Comprehensive Environmental Response, Compensation, and Liability Act (CERCLA); Resource Conservation and Recovery Act (RCRA); Toxic Substances Control Act (TSCA); Occupational Safety and Health Administration (OSHA); Brownfields Cleanup Program; New York Oil Spills Act; National Environmental Policy Act (NEPA); New York State Environmental Quality Review Act (SEQRA); New York City Environmental Quality Review Act (CEQR); the New York City Uniform Land Use Review Procedures (ULURP); and the New York State Eminent Domain Procedure Law (EDPL). Mr. Pavia has served as counsel on SEQRA matters for the City of New York on various zoning-related matters as well as other municipalities located throughout the State of New York. Prior to joining Harris Beach, Mr. Pavia chaired the Environmental Practice Group at a Rochester area law firm. From 1992 – 1995, Mr. Pavia was an assistant counsel for the New York City Department of Environmental Protection.

Representative projects include:

- Provided Brownfields, SEQRA, and zoning services to client for re-development of 100-year old manufacturing facility located in Buffalo, New York as a mixed-use project.
- Provided Brownfields, SEQRA, and zoning services for client developing biomass fuel production facility on the former Griffiths Air Force Base located in Rome, New York.
- Provide legal services related to SEQRA compliance for Seneca County IDA regarding biomass fuel production on former Seneca Army base as well as successfully defended approval of the project in an Article 78 proceeding.
- Assist City of Yonkers IDA in Brownfields re-development of the former Austin Avenue landfill.
- Provide SEQRA assistance to Steuben County IDA on the review and approval of four wind farm developments located on approximately 100 square miles.

- Act as environmental counsel for the \$230 million Renaissance Square transportation project located in Rochester, New York and provide services related to permitting, and SEQRA and NEPA compliance.
- Assisted developer of \$300 million college campus extension in obtaining federal wetlands permits.
- Act as environmental counsel to the Town of Salina and provide assistance on a \$75 million closure of town landfill.
- Assist numerous developers throughout the State of New York on SEQRA and permit-related matters for a variety of real estate development projects.

Professional and Community Activities

Mr. Pavia is a member of the New York State and Monroe County Bar Associations.

Field and construction phase design services are a specialty of Fisher Associates. We prepare and/or review construction schedules, provide specialized estimating services, review beam erection plans, comment on demolition plans, provide shop drawing and fabrication reviews, provide design services for design-build projects, provide constructability and value engineering reviews, stakeout your clearing limits and wetlands, resolve unforeseen underground contamination, design asbestos mitigation, prepare record plans, provide on-site inspections, and even stakeout buildings and sites.

Overseeing this is Claire Fisher, P.E. Since walking her first steel during the heyday of Interstate 390 construction in central NY, she's managed or acted as principal-in-charge for 100+ construction projects. She oversees top-notch staff that are **accessible, responsive, and attentive to your needs**. Projects include:

Construction Scheduling for SUNY Buffalo Kapoor Hall Renovations:

For this \$44M project, we are reviewing the contractor's baseline schedule to determine if the work can be performed by the contract completion date. We're independently reviewing their schedule, interviewing field personnel, and reporting on their schedule. Clear, concise reports cover a summary, conditions found, deficiencies, and a list actions/next steps.

SUNY Upstate Medical Institute for Human Performance, \$50M, LEED Silver. Project consists of an addition consisting of one level of parking and three levels of research laboratory space, with a focus on energy conservation and indoor air quality.

SUNY ESF Gateway, \$18.9M, LEED Platinum. This 40,000 sf gateway project will be a signature project for sustainable design, housing conferences, events, exhibition, college admissions, food service and other functions.

SUNY Geneseo Doty Building Renovation, \$15M, LEED Silver. The project includes a third-floor addition to the building and an interior renovation to house classrooms, clinical suites, auditory suites, conference rooms, waiting rooms, a recital hall and administrative offices.

Other Field Projects on which she or her staff have been involved with include:

- **Fabrication:** Staff designed a cast-in-place reinforced concrete span as an alternative to a precast rigid frame structure, saving the owner \$80,000.
- **Building Utility Supports:** Design of a steel multi-bent system to provide utility support for the relocation of utilities during demolition of a 6 story bldg.
- **Value Engineering:** We proposed and the owner accepted our proposal to construct an at-grade walkway with culvert in lieu of a pedestrian truss bridge.
- **Construction Engineering:** Developed a temporary deck shoring design so that the contractor could support equipment during partial deck removal.
- **Demolition Plans:** Developed plan for the demolition of an earth filled arch and designed an underbridge causeway to avoid environmental impacts to the stream underneath.

Professional Background

EDUCATION

- Syracuse University, BSCE

YEARS OF EXPERIENCE

- 35

REGISTRATIONS

Professional Engineer:

- New York.
- Pennsylvania.

AFFILIATIONS

- American Council of Consulting Engineers
- Member of the Rochester Engineering Society.
- RIT Industrial Advisory Board.
- QBS Council of NYS
- American Society of Civil Engineers.

AREAS OF SPECIALIZATION

- Site engineering and planning.
- Environmental impact assessments.
- Utility coordination.
- Parking lot design.
- Design of drainage, water distribution and sewer collection systems.

- **Structural Supports for Roof-Top HVAC Units:** Structural analysis and design of roof systems to accommodate new mechanical air roof top units.
- **Green Roofs:** For roof replacement at the NYSDOT headquarters, we analyzed the existing roof deck structure and column loads to determine upgrades needed to support a new green vegetative roof. We also sampled for potential asbestos and lead containing materials.

Resume
 Ralph Kraft
 129 Shorecliff Dr. Rochester, NY 14612

Ralph Kraft is President / CEO of R. Kraft. Inc. (KRAFT) a cleanroom service agency which was founded in 1977.... KRAFT is Veteran Owned.

In 2010 KRAFT became ISO/IEC 17025:2005 Accredited for the certification of Cleanroom facilities and Laminar Flow Devices.

KRAFT Provides:

- 1) Performance Appraisals and/or Troubleshooting of existing cleanroom facilities
- 2) Benchmarking of existing non cleanroom spaces for upgrades into cleanspaces
- 3) Contamination Investigations and Monitoring Programs
- 4) Hepa/Ulpa Filter Testing
- 5) Certification of Cleanroom Facilities and Laminar Flow Workstations
- 6) Training seminars for cleanroom constructors, operators, custodial, maintenance & service personnel
- 7) SOP/Protocol Review/Development for cleanroom construction and operations.
- 8) Protocol Management of cleanroom construction projects.

Ralph's Training Seminars were developed from his many years of troubleshooting and certifying cleanrooms and is designed for those contemplating and/or using a cleanroom, as were the SOP/Protocol Development Programs.

Ralph is the co-author of the globally accepted cleanroom operations manual "Cleansweep-Cleanroom Compendium" & recently has authored "Cleanrooms on Tight \$\$" along with numerous articles pertaining to the design and operations of cleanrooms from a service provides point of view in various publications and is a frequent speaker at various conferences where cleanroom and cleanspace manufacturing is a concern.

Over the years, Ralph has attended and continues to attend various seminars/talks at various national and regional conferences to stay current with items/materials/procedures pertaining to the cleanroom industry.

Accomplishments: A Few Past Clients For Cleanroom Consulting, Certification or Training;

MIT - US ARMY - NASA - Los Alamos Labs - IBM - Lockheed/Martin - GE Medical - Kodak - Xerox - MSA - Bausch/Lomb - Upstate Medical – SUNY @ U/B & Albany - Cornell University

Affiliations: Member of:

Institute of Environmental Sciences and Technology (IEST)

Association for Facilities Engineering (AFE)

Controlled Environmental Testing Association (CETA)

Ralph Kraft
129 Shorecliff Dr. Rochester, NY 14612

Employment History

1977- Present: Founder of R.Kraft, Inc. - A Cleanroom Service Agency

Accomplishments:

Development of Training seminars for cleanroom constructors, operators and custodial personnel.

Co- Author/Author of 2 books on cleanrooms and numerous articles on cleanrooms in specific trade magazines relating to cleanrooms.

Speaker at numerous Conferences/Trade shows/Symposiums relating to cleanrooms

1972 -1977: Comp-Air Systems – Grand Rapids, MI - An International Cleanroom Design/Build firm.
Employed as Construction/Project Manager - Air Balance & Cleanroom Certification Technician.

1964 – 1972: Leo. J. Roth – Rochester NY – Local HVAC/R and Sheetmetal Contractor
Apprentice and Journeyman Sheetmetal Mechanic - Refrigeration/Air Conditioning Service Mechanic.
Air Balance Technician.

Education

1964 -1968: New York Sheetmetal Apprenticeship >Journeyman.

1968 -1972: RSES Refrigeration and Air Conditioning School – Refrigeration Service Engineers Society

1969: HVAC Testing, Adjusting, Balancing Technican School – labor Union Local 46

1984: Contamination Control – Institute of Environmental Sciences.

1987: Advanced Contamination Control – Argot, Inc.

1988: In- Place Hepa Filter Testing – Harvard School of Public Health

1990: Preparation of Parenteral Medications – Univ of TN, College of Pharmacy/Dept of Pharmaceutics.

2008: OSHA 10 Hr Construction Safety Course – On line via OSHA Campus.com

2010: ISO 9001:2008 Lead Auditor Class - RABQSA

2011: Cleanroom Regulations and Monitoring – Hach Company, Life Sciences Users Group

2012: OSHA 30 Hr Construction Safety Course - On line via OSHA Campus.com

2012: ISO 17015:2005 Internal Auditing – ASQ/AClass

Military:

U S Navy 1959-1965 - Honorable Discharge with E-5 rating.

Contact Info: **1-585-621-6946**

Cell **1-585-261-5935**

rk.cleanroomservices@gmail.com

www.cleanroomservices.com



Charles Cummings is a seasoned construction professional with over 30 years experience in the construction/facilities management industry. His effective management style and strong leadership abilities have been key enablers to the ongoing success of the business and numerous construction related projects.

ACHIEVEMENTS

- Eastman Kodak Company
 - B119 Miscellaneous Renovations
 - Kodak Park South Relocations
 - Connected Flow Relocation
- Xerox Corporation—Xerox Square
 - 30 floor Revitalization
 - Elevator Modernization
 - Auditorium Renovation
 - Podium Reconstruction
 - Underground garage concrete repairs
- Xerox Corporation
 - B311/B111, Manufacturing/office conversion
 - B801, Cafeteria renovation
- Greater Rochester International Airport
 - Baggage area improvements
- Frontier Field
 - Dugout drainage modifications
- Monroe Community College
 - Building 9 electrical ductbank
- Bank of America
 - UPS Bypass
- Palmyra—Macedon School District
 - Concrete work
- Carestream B31
 - Concrete demolition
- Town of Webster
 - Sanitary sewer
- Rochester City School District
 - Frederick Douglas School, new equipment pads
- Rundel Library
 - Subsurface structural concrete repairs
- RG&E
 - Masonry repairs
- Town/Village of Olean
 - New water distribution/treatment system
- Chemung County Sewer District
 - New 31 MGD WWTP
- Binghamton intermodal Transit Facility
 - Masonry & Pre-cast
- Genesee Valley Ice Rink Compressor Replacement
 - Cost Estimating Services
- 911 Call Center
 - Cost Estimating Services
- City of Rochester, Civic Center Plaza Renovations
 - Preconstruction Cost Estimating Services
- Buffalo Public School #81
 - Drywall and Acoustical

EXPERIENCE

President: 2007 to present—Cummings Construction, LLC

Senior Project Manager: 2006 to 2007—VWeis Construction Solutions, LLC

Lean Six Sigma Black Belt: 2004 to 2006—Xerox Corporation

Manager, Internal Services: 2002 to 2004—Xerox Corporation

Manager, Monroe County Project Management: 2000 to 2002—Xerox Corporation

Building Operations Manager: 1998 to 2000—Xerox Corporation

Manager, Corporate Real Estate/Facilities Services: 1995 to 1998—Xerox Corporation

Project Manager/Resident Project Representative: 1985 to 1995—Lozier Architects/Engineers

EDUCATION & TRAINING

Rochester Institute of Technology

Executive MBA

Clarkson University

B.S., Civil Engineering

Roberts Wesleyan College

B.S., Mathematics

LEED AP: USGBC Leadership in Energy & Environmental Design

AFFILIATIONS

Board Member, Upstate New York Minority Supplier Development Council

Member, National Society of Professional Engineers

Member, American Society of Civil Engineers

Board Member, Flower City Habitat for Humanity



R. Kraft, Inc.



KEY CONSULTANT CORPORATE OVERVIEWS

Firm Introduction

We **love** what we do.

When you hire Bergmann Associates, you're hiring our **people**. As a result, you'll get our **passion**, our expertise and our outstanding service, on each and every **project**.

Bergmann Associates represents over three decades of culture built upon the work of our dedicated, client focused experts. Your Bergmann team will deliver what we promise, on-time and within budget. You'll be interacting with design professionals who pride themselves on the highest level of integrity, dependability, ethics and quality of work.

We're also exceptionally innovative and responsive. Think of Bergmann as an extension of your organization and your trusted advisor.

Bergmann Associates is a full service, multi-disciplinary design firm employing some of the most talented practitioners in the industry. Our core business segments include general building design, research and manufacturing, retail, energy, transportation systems, civil works, and community planning. Bergmann Associates is very proud of our extensive experience and rich portfolio of work that features everything from restoration of historic landmarks, to comprehensive bridge and highway design, to waterfront master planning.

You'll be in good company at Bergmann. Our client list spans educational, commercial, institutional, retail, industrial and governmental sectors throughout the United States, all of whom come to us with unique requirements and challenges. We look forward to helping you with your project needs.



- Founded in 1980
- 378 employees, including 87 licensed professional engineers, 42 registered architects, 6 certified planners, 5 landscape architects, and 11 land surveyors
- Consistently ranked in the Engineering News Record's Top 500 Design Firms
- Provide efficient and comprehensive multi-disciplinary services under one roof
- 53 LEED Accredited Staff



Mission

To provide an outstanding level of service, quality and expertise through our people, our passion and our projects.

Vision

Market leaders and trusted advisors creating a better world by design.

Core Values:

- Our People
- Service
- Teamwork
- Integrity & Ethics
- Excellence
- Stewardship





Corporate

Our Corporate Practice Group represents mid-sized and closely-held organizations as well as emerging and growing businesses. We also work with some of the largest private and public organizations in the country.

At Harris Beach, our strategic approach to working with business clients supports all phases of their growth and evolution and helps them define and meet their business objectives. The keen business acumen, legal knowledge, and extensive public and private business transactional experience of our Corporate Practice Group attorneys has consistently resulted in their professional peer-review recognition among *The Best Lawyers in America* and *The Best Lawyers of the Year*.

Our services include:

Domestic Aspects of International Transactions

We are often involved in the domestic aspects of international transactions for our clients, or for foreign clients in need of legal advice in their country. These transactions include the formation of joint ventures with non-U.S. companies, agency agreements, and acquisitions.

Emerging Businesses and Entrepreneurial Business Planning

Our attorneys work in partnership with a wide range of new business endeavors, providing counsel in business planning, protection of proprietary interests, accessing capital, organization management, strategic partnering with larger firms, and government financing through economic development and government grants and contracts. We also help with succession and estate planning for owners of closely-held businesses.

General Business Law

We provide our clients with a full range of legal services to meet their corporate and business law requirements. We routinely handle contractual matters, proprietary rights, warranties, franchising and distributorships, sales contracts, bulk sales, stockholder agreements, antitrust matters and general business transactions. We recognize that tax planning goes beyond routine compliance and preparation of returns and provide advice and guidance on the tax implications associated with operations and transactions.

Mergers and Acquisitions, and Transactions

Our attorneys have extensive experience handling tax, finance, structural, environmental, ERISA,

securities, labor relations, and real estate matters associated with acquisitions and divestitures. We work with buyers, sellers, financial sources, and parties to joint ventures and strategic alliances in structuring transactions, protecting our clients' interests, and identifying capital, partners, and advisors.

Harris Beach has represented a wide variety of U.S. and international companies in merger, acquisition, and divestiture transactions, including public company mergers, strategic acquisitions of private companies and other transactions. Our transaction experience is in a broad spectrum of industries, including regulated industries such as financial services and banking. We represent our clients in all phases of a transaction, from the negotiation of a letter of intent through the due diligence process, contract negotiation and drafting, and closing. Our attorneys also provide representation with respect to post-closing matters. We are well versed in mergers and acquisitions and take a multi-disciplinary, problem-solving approach to each transaction.

Our transactional teams are led by members of our Corporate Practice Group, but will include representatives from other practice groups, as necessary. For example, a transactional team will often include intellectual property, labor and employment, employee benefit, tax, environmental, and other attorneys and professionals as may be necessary for a particular transaction. We believe that, as is the case in most of our practice areas, a multi-disciplinary team approach better assures a complete and coordinated solution for our clients.

Partnerships and Limited Liability Companies

Harris Beach attorneys help plan and execute strategies designed to meet our clients' business and personal goals in addition to providing practical recommendations that help them minimize tax costs and comply with complex tax rules and regulations.

Regulatory and Administrative Proceedings

We provide legal support for our corporate clients, their officers and directors at all stages of administrative proceedings, including criminal proceedings, in federal and state courts, and before federal and state regulatory bodies. Our attorneys handle all phases of such proceedings from audits, investigations, pre-trial negotiations, and grand jury proceedings, to trials and administrative proceedings. We provide representation in a variety of areas, including antitrust, environmental, tax, and securities claims. With the more active pursuit of civil and criminal audits on the part of the Internal Revenue Service and the New York State Department of Taxation and Finance, our attorneys have taken an aggressive approach to representing our clients to produce cost-effective results.

Securities Law and Capital Transactions

We represent issuers, placement agents, underwriters, and investors in private placements, public offerings and real estate syndications in transactions involving equity, debt, and asset-

backed securities. Our attorneys also help public companies, broker-dealers, and investment advisers comply with federal and state regulatory requirements. We identify and address securities law issues in acquisitions, joint ventures, financings, and other business transactions. We assist public companies with reporting and other on-going compliance issues under federal and state securities laws.

Our securities law related experience includes assisting clients with: registration of securities with the SEC; mergers and acquisitions involving public company constituents; compliance with listing requirements and stock exchange rules; preparation, review and filing of current and periodic reports under the '34 Act; Section 16 issues and filings; compliance with the proxy rules for annual and special meetings of stockholders; and insider trading policies and procedures. We also represent companies and investors who provide capital to those companies. Our clients include venture capital firms and other private equity investors, and venture-backed businesses in several high-tech areas.

Among other things, we have prepared documentation and assisted in due diligence examinations, with respect to debt and equity investments.



Public Finance and Economic Development

Harris Beach represents every major New York state agency and more than 90 municipalities, school districts and special improvement districts as bond counsel and also represents the leading underwriters as underwriting counsel on major state bond transactions. Our economic development practice handles showcase projects statewide, represents more than two dozen Industrial Development Agencies, and has distinguished itself by delivering creative and unique solutions which unite the related private and public sector parties necessary to propel large development projects forward and help ensure their successful completion.

We keep clients current with the requirements of frequently-changing legislation, such as helping authorities comply with the Public Authorities Accountability Act of 2005 and the Public Authorities Reform Act of 2009. Our attorneys handle transactions involving FHA-insured mortgage revenue bonds, letter of credit secured financings, bond insured financings and unrated issues. We handle projects financed through a number of state agencies, such as the Dormitory Authority of New York State, the New York State Housing Finance Agency and others; projects financed through local industrial development agencies and housing authorities; and a variety of projects that are 63-20 financings. We work closely with clients on all aspects of their business finances and legal planning.

Our Services Include:

Appropriation-Backed Financings

Firm attorneys have considerable experience in appropriation-backed financings having served as bond counsel, special tax counsel or underwriters' counsel on more than 180 financing transactions involving approximately \$29 billion. The financings have been undertaken to construct or reconstruct park facilities, construct and repair highways and to advance refund prior bond issues, construct parking facilities, fund new hospital construction and advance refund prior bond issues, construct homeless housing, construct state and local correctional facilities, fund the construction and renovation of dormitory facilities for the State University System, fund the acquisition of equipment and realty by various departments of state government, and fund the construction of school facilities.

Derivative Products/Swaps and Non-Fixed Rate Debt

In its role as bond counsel, firm attorneys have been asked to pass upon state law and tax issues with respect to the ability of issuers to utilize derivative products and to otherwise invest in investments which are not strictly identified in any applicable list of permitted investments, and, in its role as underwriters' counsel, to address various disclosure issues with respect to the use of derivative products in connection with a particular financing. Advice was provided on numerous innovative financings and is continually involved in the analysis of progressive financing structures. These structures include fixed

rate bonds synthetically divided into lower floaters and residual interest pieces, total return swaps, hedges and caps, swaps, and the use of floating rate debt in advance refundings. In addition, we have been involved in forward transactions for bonds which legally cannot be advance refunded. The firm has extensive experience with floating rate debt, zero coupon debt, mini-bonds, taxable debt, concurrent, multiple series of bonds with different structural characteristics, insurance flips, and combinations of all the foregoing.

Disclosure

The firm is on retainer to the New York State Division of the Budget (DOB) as Public Finance and Disclosure Counsel and provides advice to DOB on a wide range of state law and federal securities law issues as well as general disclosure matters, including the implementation and compliance with the state's annual secondary market disclosure obligations. In addition, members of the firm served as special disclosure counsel to the underwriters in connection with general obligation bonds issued by the State of Connecticut and the State of Louisiana.

Educational Facilities

We regularly serve as bond counsel and underwriters counsel on financings for colleges, private not-for-profit schools, library systems, and educational facilities for developmentally disabled children. These financings are often secured by state, local school district, or other third-party reimbursement revenue streams.

Hospitals, Nursing Homes and Health-Related and Independent Living Facilities

Our attorneys have extensive experience in all types of health care and health-related facility financings, from hospitals and nursing homes to a variety of senior living facilities, including lifecare and other continuing care retirement communities, independent living facilities, assisted living facilities and adult homes. In addition, the attorneys in the firm's health services practice represent a broad cross-section of health care providers throughout the state on corporate, regulatory and tax matters.

Housing

Our attorneys have extensive experience in single- and multi-family housing, tax credit and subsidy programs for low and moderate income residential retail projects, including financings through the Dormitory Authority of the State of New York, the New York State Housing Finance Agency, the New York City Housing Development Corporation and local housing authorities.

Industrial Development and Exempt Facility Financings

Our attorneys handle all types of small issue manufacturing facility financings and exempt facility financings, including solid and hazardous waste disposal facilities, public dock and wharf facilities, airport facilities, and sewage facilities. Harris Beach serves as agency counsel, developer counsel or transactional counsel in all types of economic development projects. In these capacities, we have significant experience in all types of Industrial Development Agency (IDA) sale/leaseback transactions.

Harris Beach attorneys utilize a variety of economic development tools to the maximum extent in bringing multiple programs and related experiences to projects identified by our IDA clients, including Brownfield Redevelopment Tax Credits, State Environmental Bond Act funding, New Markets Tax Credits, economic development through condemnation, PILOT Increment and Tax Increment financings, HUD I08 Loans and BEDI Grants, creative use of Empire Zone benefits and many other areas that are often overlooked or not fully understood.

Our attorneys work closely with our corporate, tax and environmental attorneys to counsel clients on all aspects of site acquisition and zoning and development approvals, as well as structuring financing packages. We work in partnership with our clients and often with a local issuer counsel operated by the IDA to balance their needs with the many constituencies affected by large development projects and work effectively with construction teams to conclude projects in a timely and cost-effective way.

The firm has significant experience with public benefit corporations developing urban areas through the use of IDAs, urban renewal agencies, condemnation, annexation, increment financing and programs as unique and varied as New Markets Tax Credits, Brownfield Redevelopment Tax Credits, Empire Zone Credits, Low Income Housing Credits and Historic Tax Credits.

General Obligation Financings:

Our attorneys serve as bond counsel on all types of general obligation financings, including long-term serial bonds, statutory installment bonds, and short-term bonds, tax and revenue anticipation notes and budget notes.

Municipal Tax-Exempt Leases/COPS:

Our attorneys serve as bond counsel to municipalities and school districts on tax-exempt equipment lease financings, including financings of energy performance contracts.

Harris Beach also has extensive experience with Certificate of Participation financings.

Public Infrastructure:

Our attorneys handle projects involving sports arenas, convention centers, recreational facilities, and public parking garages.

Water Distribution and Sewer Facilities:

We serve as bond counsel to local water and sewer authorities and we handle revenue bond financings for these entities involving loans or agreements to both private and public entities. As bond counsel to municipalities throughout New York state, we participate in revolving loan financings through the New York State Environmental Facilities Corporation.

Public Finance Tax Representation

The firm is routinely involved in the interpretation and resolution of arbitrage and rebate issues on a professional practice basis as well as in the development of regulations on those topics.

As bond counsel, the firm advises clients on methods of decreasing the transferred proceeds penalty for the advance refunding of outstanding (low to high refunding) debt, provides ongoing advice with respect to reimbursement issues (including reimbursement of a related entity), sizing short-term and long-term cash flow and working capital borrowings to minimize rebate liability, rebate exceptions and strategies, and other means of maximizing earnings while minimizing rebate.

The firm also provides advice on maximizing earnings and minimizing rebate through the coordinated use of reimbursement, short term forward funding, and the market sensitive sizing of reserve funds. In addition, the firm provides ongoing tax advice to clients as to the types of expenditures which are capital and thus qualify for reimbursement and for long term (rather than working capital) bonding, and methods of minimizing or eliminating negative arbitrage.

Providing comprehensive, professional solutions since 1984, Fisher Associates, P.E., L.S., L.A., P.C. delivers services for transportation engineering, structural engineering, environmental services, surveying services, site/civil engineering, landscape architecture and construction representation. These complementary services enable us to offer a complete approach to any project we encounter.

Fisher Associates continues to consistently meet the demands of our state, municipal and private industry clients. With offices in Rochester, Syracuse, and Buffalo, New York, as well as in Pittsburgh and Erie, Pennsylvania our firm continues to steadily grow. At this time, we have over 110 full-time employees that comprise our technical and administrative forces.

Federal ID#: 16-1373998

Year Founded: 1984

Status: Woman Owned Business (WBE)

Ownership: 100% Employee Owned

Office Locations:

Firm Headquarters

135 Calkins Road, Suite A
Rochester, NY 14623
(585) 334-1310
(585) 334-1361 fax

Buffalo, NY Office

325 Delaware Ave, Suite 200
Buffalo, NY 14202
(716) 858-1234
(716) 858-1231 fax

Syracuse, NY Office

120 East Washington Street,
Suite 414
Syracuse, NY 13202
(315) 422-4822
(315) 422-4844 fax

Erie, PA Office

Renaissance Centre
1001 State Street, Suite 516
Erie, Pennsylvania 16501
(814) 397-3599

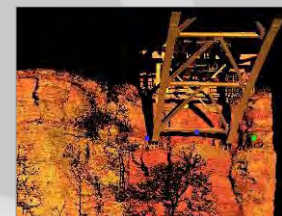
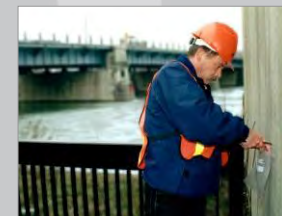
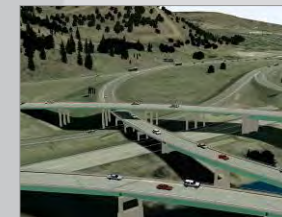
Pittsburgh, PA Office

One Oxford Centre
301 Grant Street, Suite 4300
Pittsburgh, PA 15219
(724) 914-5873

Principals:

Claire Fisher, P.E.
Robert W. Goossen, P.E.
J. Steve Boddecker, L.S.
Joseph S. Logan, Jr., P.E.
William Price, RLA
Lorenzo Rotoli, P.E., PTOE
Christopher R. Smith, P.E.
Roseann Schmid, P.E.

Website: www.fisherassoc.com



CORPORATE OVERVIEW

INTRODUCTION

Cummings Construction is a general contractor which also offers construction management, preconstruction consulting and design-build services.

The Company was established in 2007 and received certification from NYS, Empire State Development as a Minority Business Enterprise in early 2009. In addition, Cummings is certified as an MBE with the National Minority Supplier Development Council.

We have performed work in Rochester and the surrounding areas for clients in the commercial, manufacturing, industrial, educational and public sectors. We are also currently performing work in Albany and Binghamton, NY.

EXECUTIVE MANAGEMENT

President and CEO — Charles Cummings

NOTABLE PROJECTS

Ontario County -

Public defenders office renovation

SUNY Albany, 500 Bed Dormitory -

Concrete work

Buffalo City Schools, PS 81 -

Drywall/acoustical renovations and new construction

New York State Police Troop G Headquarters, Albany, NY -

Concrete foundations

SUNY Binghamton University, Phase IV -

Preconstruction cost estimating services

Binghamton Intermodal Transit Facility -

New masonry, precast and stonework

Civic Center Garage, Rochester, NY -

Cost estimating services for HVAC system renovation

Palmyra- Macedon School Sidewalk Replacement -

Removal of existing and replacement with new concrete sidewalks and granite curbing

MCC Bldg. 9, Concrete Ductbank -

Excavation and concrete ductbank installation at Monroe Community College

2152 Ridgeway Ave., Suite 200, Rochester, NY 14626 585.697.0385

www.cummings-construction.com



CORPORATE OVERVIEW

Frontier Field, Dugout Drainage Repairs -

Concrete removal/replacement and hand excavation to enable the replacement of the dugout drainage system

Greater Rochester International Airport, Baggage Area Renovations -

Concrete removal/replacement and the installation of in-floor drainage system

AFFILIATIONS/CERTIFICATIONS

- NYS Minority Business Enterprise - Empire State Development
- National Minority Supplier Development Council MBE
- Registered vendor with the Rochester Housing Authority
- Registered MBE with the City of Rochester

2152 Ridgeway Ave., Suite 200, Rochester, NY 14626 585.697.0385

www.cummings-construction.com



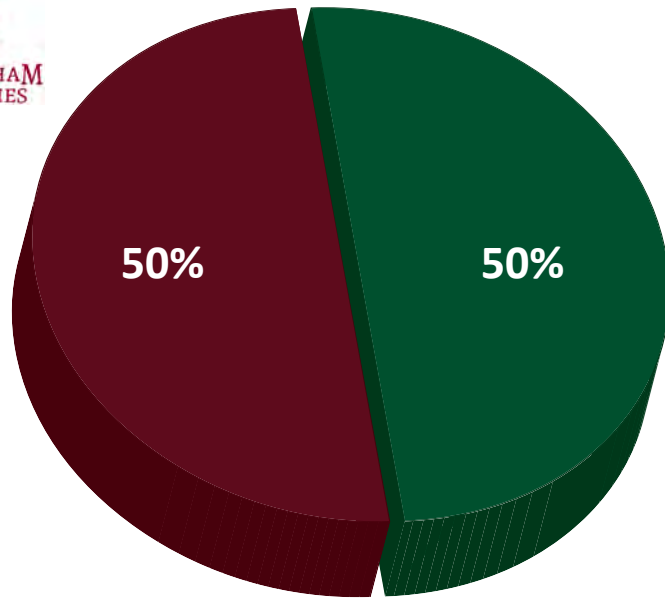


© Park Ave Photo

Section 3:
Company Partners

**DEVELOPER PROPOSAL:
PARTNERSHIP IN GREATER
ROCHESTER AREA**

Buckingham-LeChase Development, LLC is a joint venture between Buckingham Properties and LeChase Construction Services, LLC. Buckingham Properties owns 50% and LeChase owns 50%.





**DEVELOPER PROPOSAL:
PARTNERSHIP IN GREATER
ROCHESTER AREA**

Buckingham Properties

Buckingham does not have any liens or pending lawsuits.

LeChase Construction

Considering the size of our business and the thousands of parties we contract with, LeChase Construction is proud to have a very limited number of matters that end up in litigation or arbitration. We attribute this success to our proactive efforts to identify and address issues and head off disputes.

Of the litigation that does occur, most are personal injury claims from either workers or third parties where the injury is due to the fault of a party other than LeChase. We carry adequate insurance to protect LeChase and its clients from these claims. Our general liability insurance carrier is American Contractors Insurance Group, which holds a Bests' rating of "A" for financial strength. General liability coverage limits are currently \$2 million per occurrence and \$4 million aggregate, and umbrella coverage provides additional protection beyond these levels.

On a very small percentage of our projects, LeChase may be involved in litigation which arises out of payment disputes. At times LeChase has been forced to use the legal process to collect the monies we were owed by contract. Usually, however, these disputes are in defense of subcontractors making unfounded requests for extra money or trying to avoid their responsibility for deficiencies that LeChase stepped in and resolved. Our subcontract form provides strong protection for our customers' interest in assuring that the work is performed properly and the owner is shielded from routine issues.



**DEVELOPER PROPOSAL:
PARTNERSHIP IN GREATER
ROCHESTER AREA**



Liberty Mutual Surety

Antonio V. Corasaniti

Surety Division

507 Plum Street

Suite 110

Syracuse, NY 13204

Antonio.V.Corasaniti@marsh.com

Telephone: 315-425-3934

Mobile: 315-559-9733

June 3, 2014

Fort Schuyler Management Corporation (FSMC)
Attn: Alicia Dicks, President, FSMC
c/o Joseph Schell, Procurement
SUNY College of Nanoscale Science & Engineering
257 Fuller Road
Albany, NY 12203

Re: Buckingham-LeChase Development, LLC
259 Alexander Street Rochester, NY 14607

Project: Developer in the Greater Rochester Area

Dear Ms. Dicks:

Please let this letter serve as confirmation that Buckingham-LeChase Development, LLC has an aggregate surety bond program of \$600,000,000 with a single project limit of \$200,000,000 with Liberty Mutual Insurance Company. Please note that these limits are not set as maximums, in that, if a larger project were to come up, Liberty Mutual Insurance Company would be willing to discuss it. Liberty Mutual Insurance Company has an "A" Rating by A.M. Best.

We have the utmost confidence in their management and project delivery; thereby, highly recommend them for any project they wish to pursue. Our consideration and issuance of surety bonds is a matter solely between Buckingham-LeChase Development, LLC and Liberty Mutual Insurance Company and we assume no liability to third parties or to you by issuance of this letter.

Please be advised that the Liberty Surety Bond Manager handling Buckingham-LeChase Development, LLC is Rob Mitchell and he can be reached at (315) 451-1137.

If you should have any questions, please feel free to call me.

Best regards,

Antonio V. Corasaniti

Surety Division

Attorney-in-Fact

Member of Liberty Mutual Group

THIS POWER OF ATTORNEY IS NOT VALID UNLESS IT IS PRINTED ON RED BACKGROUND.

This Power of Attorney limits the acts of those named herein, and they have no authority to bind the Company except in the manner and to the extent herein stated.

Certificate No. 6301368

American Fire and Casualty Company
The Ohio Casualty Insurance Company

Liberty Mutual Insurance Company
West American Insurance Company

POWER OF ATTORNEY

KNOWN ALL PERSONS BY THESE PRESENTS: That American Fire & Casualty Company and The Ohio Casualty Insurance Company are corporations duly organized under the laws of the State of New Hampshire, that Liberty Mutual Insurance Company is a corporation duly organized under the laws of the State of Massachusetts, and West American Insurance Company is a corporation duly organized under the laws of the State of Indiana (herein collectively called the "Companies"), pursuant to and by authority herein set forth, does hereby name, constitute and appoint, Annette Borodzik; Annette M. Smith; Antonio V. Corasaniti; Jean Hess; Joyce M. Zieziula; Megan J. Schlueter; Michael S. Apter; Nancy Mancuso

all of the city of Rochester, state of NY each individually if there be more than one named, its true and lawful attorney-in-fact to make, execute, seal, acknowledge and deliver, for and on its behalf as surety and as its act and deed, any and all undertakings, bonds, recognizances and other surety obligations, in pursuance of these presents and shall be as binding upon the Companies as if they have been duly signed by the president and attested by the secretary of the Companies in their own proper persons.

IN WITNESS WHEREOF, this Power of Attorney has been subscribed by an authorized officer or official of the Companies and the corporate seals of the Companies have been affixed thereto this 25th day of September, 2013.



American Fire and Casualty Company
The Ohio Casualty Insurance Company
Liberty Mutual Insurance Company
West American Insurance Company

By: Gregory W. Davenport
Gregory W. Davenport, Assistant Secretary

STATE OF WASHINGTON ss
COUNTY OF KING

On this 25th day of September, 2013, before me personally appeared Gregory W. Davenport, who acknowledged himself to be the Assistant Secretary of American Fire and Casualty Company, Liberty Mutual Insurance Company, The Ohio Casualty Company, and West American Insurance Company, and that he, as such, being authorized so to do, execute the foregoing instrument for the purposes therein contained by signing on behalf of the corporations by himself as a duly authorized officer.

IN WITNESS WHEREOF, I have hereunto subscribed my name and affixed my notarial seal at Seattle, Washington, on the day and year first above written.



By: KD Riley
KD Riley, Notary Public

This Power of Attorney is made and executed pursuant to and by authority of the following By-laws and Authorizations of American Fire and Casualty Company, The Ohio Casualty Insurance Company, Liberty Mutual Insurance Company, and West American Insurance Company which resolutions are now in full force and effect reading as follows:

ARTICLE IV – OFFICERS – Section 12. Power of Attorney. Any officer or other official of the Corporation authorized for that purpose in writing by the Chairman or the President, and subject to such limitation as the Chairman or the President may prescribe, shall appoint such attorneys-in-fact, as may be necessary to act in behalf of the Corporation to make, execute, seal, acknowledge and deliver as surety any and all undertakings, bonds, recognizances and other surety obligations. Such attorneys-in-fact, subject to the limitations set forth in their respective powers of attorney, shall have full power to bind the Corporation by their signature and execution of any such instruments and to attach thereto the seal of the Corporation. When so executed, such instruments shall be as binding as if signed by the President and attested to by the Secretary. Any power or authority granted to any representative or attorney-in-fact under the provisions of this article may be revoked at any time by the Board, the Chairman, the President or by the officer or officers granting such power or authority.

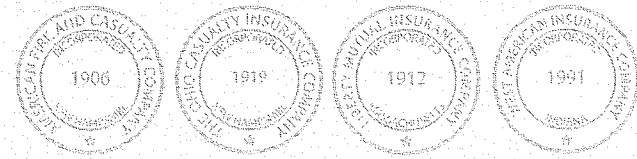
ARTICLE XIII – Execution of Contracts – SECTION 5. Surety Bonds and Undertakings. Any officer of the Company authorized for that purpose in writing by the chairman or the president, and subject to such limitations as the chairman or the president may prescribe, shall appoint such attorneys-in-fact, as may be necessary to act in behalf of the Company to make, execute, seal, acknowledge and deliver as surety any and all undertakings, bonds, recognizances and other surety obligations. Such attorneys-in-fact subject to the limitations set forth in their respective powers of attorney, shall have full power to bind the Company by their signature and execution of any such instruments and to attach thereto the seal of the Company. When so executed such instruments shall be as binding as if signed by the president and attested by the secretary.

Certificate of Designation – The President of the Company, acting pursuant to the Bylaws of the Company, authorizes Gregory W. Davenport, Assistant Secretary to appoint such attorneys-in-fact as may be necessary to act on behalf of the Company to make, execute, seal, acknowledge and deliver as surety any and all undertakings, bonds, recognizances and other surety obligations.

Authorization – By unanimous consent of the Company's Board of Directors, the Company consents that facsimile or mechanically reproduced signature of any assistant secretary of the Company, wherever appearing upon a certified copy of any power of attorney issued by the Company in connection with surety bonds, shall be valid and binding upon the Company with the same force and effect as though manually affixed.

I, David M. Carey, the undersigned, Assistant Secretary, of American Fire and Casualty Company, The Ohio Casualty Insurance Company, Liberty Mutual Insurance Company, and West American Insurance Company do hereby certify that the original power of attorney of which the foregoing is a full, true and correct copy of the Power of Attorney executed by said Companies, is in full force and effect and has not been revoked.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed the seals of said Companies this 3rd day of JUNE, 20 14.



By: David M. Carey
David M. Carey, Assistant Secretary

Not valid for mortgage, note, loan, letter of credit, currency rate, interest rate or residual value guarantees.

To confirm the validity of this Power of Attorney call 1-610-832-8240 between 9:00 am and 4:30 pm EST on any business day.



© Michael Mills

**DEVELOPER PROPOSAL:
PARTNERSHIP IN GREATER
ROCHESTER AREA**

AVAILABLE CAPACITY

Buckingham-LeChase Development offers a depth of knowledgeable staff as well as the capability to use state-of-the-art technology to ensure success on projects of any size and scope.

Personnel Resources

Buckingham-LeChase has a dedicated staff of over 760 who all share a commitment to service excellence. Our staff includes project executives, project managers, financing experts, architects, estimators, superintendents, project engineers, leasing agents, property managers and supporting personnel. We offer expertise and experience in site selection, finance, construction, redevelopment, building operations, apartment/office/commercial leases, value engineering, estimating, contracts, scheduling, cost controls, safety, BIM and LEED®. Our team has an unparalleled level of in-house real estate development, construction management and property management services, offering expertise in all facets of the industry.

A partnership with Fort Schuyler Management Corporation will not be impacted by the schedules or staffing plans of our current or pending projects. We have a great depth of qualified professionals to ensure all projects are properly staffed and managed.

Technology Resources

Buckingham-LeChase Development is constantly looking for new ways to incorporate current technological tools to enhance the overall development process. Technological advancements also allow for more efficient and streamlined communication between a project team and all of its stakeholders fostering a more collaborative process. The following are some examples of innovative technologies that we have available.

- **Electronic Transfer of Information:** A password protected project-specific website can be set up for the fast and reliable exchange of large quantities of project information between multiple recipients to improve communication.
- **Project Scheduling/Tracking Software:** We utilize CPM flow charts supplemented by a bar chart visual schedule using Microsoft Project software. This is a very effective tool for communication with and amongst subcontractors. It can also be used to identify and communicate activities that will affect the owner's operation along with communicating milestone dates for procurement of owner-furnished items.
- **Project Management Software:** Viewpoint V6 Software will be used for project management. By keeping the information current in Viewpoint we are able to print out status reports, requests for proposal logs, change order request logs, change order logs and issue logs whenever needed.



Buckingham-LeChase Development has the available capacity and will commit the necessary resources to ensure our partnership with Fort Schuyler Management Corporation is a success.



**DEVELOPER PROPOSAL:
PARTNERSHIP IN GREATER
ROCHESTER AREA**

Buckingham Properties has amassed a portfolio in excess of 10 million SF, with acquisitions in just the past three years in excess of \$100 million. Buckingham's current development pipeline is estimated at approximately \$150 million of projects in various phases of the development cycle. Buckingham, through the substantial resources of its controlling member, Laurence C. Glazer, along with debt financing procured through its long-term relationships with the major real estate lending institution in Rochester, NY, has shown time and again its ability to complete projects without disruption due to financial resources. As a company truly committed to the Greater Rochester Area, we frequently invest early in local development projects in order to demonstrate our commitment, and to initiate a project's momentum. Buckingham has continuously demonstrated that it has the resources and expertise to actively pursue and recruit tenants for new projects.

Buckingham has utilized both traditional and non-traditional investment strategies in growing its portfolio, and has often partnered with various governmental entities to structure appropriate financing for its public-profit partnership projects. The Tower at Midtown, a \$57 million redevelopment project, is a component of the Midtown Rising initiative to revitalize the heart of downtown Rochester. Buckingham's financing department worked directly with State, County and City officials to formulate a capital structure that was beneficial for all parties. To complete the capital stack, Buckingham structured a syndication of local institutional lenders, which have all recognized the importance of this project to the community. In the end, this is an example of local stakeholders working in harmony to complete a challenging project that is important to the Rochester community.



LeChase Construction is financially sound with a bonding capacity of over \$600 million, annual revenues exceed \$700 million in building construction and no financial debt. LeChase also has a long-standing relationship with M&T Bank which is highlighted in the enclosed letter from J. Theodore Smith, Vice President at M&T Bank. The firm's financial strength enables LeChase to support clients with available resources, such as construction financing, on select projects when necessary. The firm's willingness to provide critical financial support demonstrates a commitment to building lasting relationships with clients.

A couple recent examples of LeChase's expertise and capacity to structure creative short-term financing options are noted below.

- LeChase provided the construction financing for two new residence halls at Belmont Abbey College in Charlotte, NC which were completed in 2013. Our capacity allowed the project to move forward and be built prior to mortgage financing being available.
- The Inns at Armory Square project highlighted the construction of a seven-story Marriott hotel in downtown Syracuse. LeChase developed a creative deferred fee structure along with interim construction financing which provided the needed capital to allow the project to move forward.



The Buckingham-LeChase Development team will work with Fort Schuyler Management Corporation to examine all possible financing structures for Rochester area initiatives.



M&T Place, 255 East Avenue, Rochester, NY 14604

June 4, 2014

Alicia Dicks, President, FSMC
Fort Schuyler Management Corporation (FSMC)
c/o Joseph Schell, Procurement
SUNY College of Nanoscale Science & Engineering
257 Fuller Road
Albany, NY 12203

Dear Ms. Dicks,

M&T Bank has had a full banking relationship with LeChase Construction Services, LLC ("LeChase") since 2000. In addition to investment and depository accounts with average balances of mid-eight figures, we provide a \$15 million revolving line of credit that is fully available, all of which are in good standing. In addition to our financial relationship, we enjoy an excellent working relationship with the Management team of LeChase. Should you have any questions, please feel free to contact me at (585) 258-8206.

Sincerely,

A handwritten signature in black ink, appearing to read 'J. Theodore Smith', written over the typed name.

J. Theodore Smith
Vice President
Manufactures and Traders Trust Company
jtsmith@mtb.com



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Section 8:
Current Projects

DEVELOPER PROPOSAL: PARTNERSHIP IN GREATER ROCHESTER AREA

Ongoing Rochester Region Projects

Buckingham Properties LLC

Owner (Buckingham Affiliate)	Project Name	Architect	Value	Description	Year
Midtown Tower LLC	The Tower at Midtown	CJS Architects Philip Michael Brown Studio (Retail Concept Designer)	\$57,600,000	The Tower at Midtown is undergoing extensive redevelopment to become downtown Rochester's premiere mixed-use destination. Plans for the 396,310 square foot Tower include office and retail space on the lower three floors and loft apartments on the upper floors.	2015
Tracy Street Realty LLC	Alexander Park North Campus	HBT Architects	\$68,000,000	New mixed-use development on eight acres of land on Alexander Street near Park Avenue. The 110,000 square foot "Center Wing" building is being renovated to accommodate retail, office and apartments. New construction includes plans for a combination office, residential and retail space.	2018
739 S. Clinton LLC	Edge of the Wedge	HBT Architects	\$5,500,000	Redevelopment of the former Ward Supply Building into an exciting mixed-use destination in the South Wedge, a continuously growing Rochester neighborhood in high demand. The "Edge of the Wedge," converts the 40,000 square foot building into office, retail and residential lofts. The property consists of three connected buildings. Lower floors of the main building are planned for office and/or retail users. Upper floors of the main building are targeted for residential lofts. Two high bay buildings offer additional retail or office space.	2015
Brighton Business Park LLC	Winfield Park	HBT Architects	\$90,000,000	Ground up development of 132 acres in Henrietta on Brighton Henrietta Town Line Road into approximately 332,000 square feet of flex, office, and residential complex. Plans include a 50,000 square foot, two-story office building as well as multi-family, single family and townhouses with a community center.	2020

Ongoing Rochester Region Projects

LeChase Construction Services, LLC

Owner	Project Name	Architect	Amount	Description	Completion Date
Greece Central School District	EXCEL II Reconstruction	LaBella Associates	\$34,500,000	Reconstruction work at as many as 24 schools including roof & window replacement, lighting upgrades, security system & fire protection system upgrades, tennis court reconstruction, softball field dugout construction and cogeneration plant repairs.	2015
Nazareth College	Wellness & Rehabilitation Institute	SWBR Architects	\$12,000,000	Expansion & renovation of Carroll Hall to make an outpatient rehabilitation services clinic, classrooms & administrative offices.	2015
Roberts Wesleyan College	New Science and Nursing Building	SWBR Architects	\$19,000,000	Construction of a new 2-story, 40,000 sf science & nursing building along with renovations to 41,000 sf of Smith Hall.	2015
Rochester Genesee Regional Transportation Authority (RGRTA)	Transit Center Consulting Services	Bergmann Associates	\$36,700,000	Construction of a 1-story, 87,000 sf public transit center. The enclosed center will include 30 bus bays, electronic schedule displays, public restrooms and an information center.	2015
St. John Fisher College	Science Addition	LaBella Associates	\$12,700,000		2015
University of Rochester Medical Center	Imaging & Medical Office Building	Clark Patterson Lee	\$18,600,000	Construction of a 3-story, 92,000 sf building with an Article 28 outpatient imaging center, urgent care center & autism clinic.	2015
University of Rochester Medical Center	Golisano Children's Hospital Expansion	Ballinger	\$147,000,000	New 245,000 SF, 9-story expansion of the children's hospital to include pediatric imaging unit, 60-bed NICU, 56 general care beds and 2 shell floors. Project is utilizing Lean construction techniques.	2015
Bausch + Lomb, Inc.	Pegasus Lines 1 & 2	Genesis Architects	\$20,000,000	Demolition & commissioned build-out of a 27,000 sf, H3 occupancy manufacturing space for line 1. Demolition, asbestos abatement & build-out of 48,000 sf for line 2.	2014
Rochester Institute of Technology	Gene Polisseni Center	BBB Architects	\$35,000,000	Construction of a 112,000 sf ice arena to include team locker rooms, weight training rooms, concessions, office spaces, seating for 4,000 spectators, club level seating & VIP lounge.	2014
Rochester Joint Schools Construction Board	Rochester School Modernization Program - Schools #28 & #58	JCJ Architecture / LaBella Associates	\$58,000,000	School #28 includes renovations and 93,690 SF of additions. School #58, which is on the National Historic Registry, includes renovations and 133,600 SF of additions.	2014

Owner	Project Name	Architect	Amount	Description	Completion Date
State University Construction Fund	SUNY Fredonia Science Center	Mitchell Giurgola Architects, LLP	\$45,000,000	Construction of a new 99,400 sf addition to include a lecture hall, biology, chemistry, bio-chemistry & computer labs, an observatory, classrooms & office space.	2014
Wayne Central School District	2011 Facilities Preservation Project	Clark Patterson Lee	\$14,900,000	Incorporates life safety, maintenance & security throughout 6 schools. Includes new roofing at all schools, site improvements, asbestos abatement, new windows, kitchen renovations, new flooring, security main office improvements & an energy performance contract.	2014
Xerox Corporation	EA Toner 4th Line	SWBR Architects / Oneira Corporation	\$30,000,000	4-story expansion of the existing toner plant including procuring, tracking & receiving specialized equipment.	2014



© Philip Michael Brown Studio

Section 9:
Insurance

DEVELOPER PROPOSAL: PARTNERSHIP IN GREATER ROCHESTER AREA



CERTIFICATE OF LIABILITY INSURANCE

LECH-11

OP ID: E4

DATE (MM/DD/YYYY)

05/27/2014

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Brown & Brown of New York, Inc 45 East Avenue Rochester, NY 14604 Andy Meloni	CONTACT NAME: Gene Noga PHONE (A/C, No, Ext): 585-232-4424 FAX (A/C, No): 585-232-5813 E-MAIL ADDRESS:													
	<table border="1"> <tr> <th>INSURER(S) AFFORDING COVERAGE</th> <th>NAIC #</th> </tr> <tr> <td>INSURER A : Am Contractors Ins Co Risk -</td> <td>12300</td> </tr> <tr> <td>INSURER B : Allmerica Financial Benefit In</td> <td>41840</td> </tr> <tr> <td>INSURER C : National Union Fire</td> <td>19445</td> </tr> <tr> <td>INSURER D : ACIG Insurance Company</td> <td>19984</td> </tr> <tr> <td>INSURER E :</td> <td></td> </tr> <tr> <td>INSURER F :</td> <td></td> </tr> </table>	INSURER(S) AFFORDING COVERAGE	NAIC #	INSURER A : Am Contractors Ins Co Risk -	12300	INSURER B : Allmerica Financial Benefit In	41840	INSURER C : National Union Fire	19445	INSURER D : ACIG Insurance Company	19984	INSURER E :		INSURER F :
INSURER(S) AFFORDING COVERAGE	NAIC #													
INSURER A : Am Contractors Ins Co Risk -	12300													
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INSURER D : ACIG Insurance Company	19984													
INSURER E :														
INSURER F :														
INSURED LeChase Construction Services LLC, C/o Michelle Keller 205 Indigo Creek Drive Rochester, NY 14626														


COVERAGES**CERTIFICATE NUMBER:****REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input checked="" type="checkbox"/> PROJECT <input type="checkbox"/> LOC OTHER:			GL14000028 PRIMARY GL14X00028 EXCESS	06/01/2014 06/01/2014	06/01/2015 06/01/2015	EACH OCCURRENCE \$ 2,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 100,000 MED EXP (Any one person) \$ 5,000 PERSONAL & ADV INJURY \$ 2,000,000 GENERAL AGGREGATE \$ 4,000,000 PRODUCTS - COMP/OP AGG \$ 4,000,000 Emp Ben. \$ 1,000,000
B	AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> NON-OWNED AUTOS			AWS815745612	06/01/2014	06/01/2015	COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ \$
C	<input checked="" type="checkbox"/> UMBRELLA LIAB <input checked="" type="checkbox"/> EXCESS LIAB DED <input checked="" type="checkbox"/> RETENTION \$ 10,000 <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS-MADE			BE8766166	06/01/2014	06/01/2015	EACH OCCURRENCE \$ 25,000,000 AGGREGATE \$ 25,000,000 \$
D	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y / N <input type="checkbox"/>	N / A	WCA000002614 WCA000007114	06/01/2014 06/01/2014	06/01/2015 06/01/2015	<input checked="" type="checkbox"/> PER STATUTE <input type="checkbox"/> OTH-ER E.L. EACH ACCIDENT \$ 1,000,000 E.L. DISEASE - EA EMPLOYEE \$ 1,000,000 E.L. DISEASE - POLICY LIMIT \$ 1,000,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

CERTIFICATE HOLDER**CANCELLATION**

Proof of Coverage	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.
	AUTHORIZED REPRESENTATIVE 

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DEVELOPER PROPOSAL: PARTNERSHIP IN GREATER ROCHESTER AREA

Financial statements for Buckingham Properties and LeChase Construction are included in separately sealed envelopes. Our financial statements and any other materials submitted in sealed envelopes separate from this bound proposal are deemed to be confidential.



**DEVELOPER PROPOSAL:
PARTNERSHIP IN GREATER
ROCHESTER AREA**

The following represents an outline of a potential fee structure for services as described in the RFP. The fees have been structured to be at or below market rate and represent our traditional fee structure for projects currently in our portfolio. Buckingham-LeChase Development is open to further discussion regarding this fee structure as our fees are typically determined by the scope of size of a particular project.

1. Property Management Fee

- a. The property manager's compensation for management of the property shall be between 3% and 6% percent of the total monthly gross receipts collected by the property manager from the tenant leases for the property. Actual fee charged shall be determined by the scope of work desired by the property owner.

2. Leasing Fee

- a. New Leases or Tenant Expansions
 - i. A commission in an amount equal to 6% of the total scheduled gross rental payments to be made under the terms of the new lease executed between the property owner and tenant, or lease expansions executed between the property owner and existing tenants, so long as the property owner shall have no obligation to any other 3rd party real estate broker for payment of a commission as a result of the same lease transaction. If the property owner is obligated to another 3rd party real estate broker for payment of a commission as a result of a lease transaction, then the commission payable to the property manager for such transaction shall equal the positive difference, if any, between the negotiated commission percentage (not to exceed six percent (6%)) and the commission to such 3rd party real estate broker.
- b. Lease Renewals and Extensions
 - i. A commission of 3% shall be earned if a tenant lease is renewed or otherwise extended for any portion of the Property, and such renewal/extension pertains to a tenant lease, or the previous renewal, so long as the property owner shall have no obligation to another 3rd party real estate broker for payment of a commission as a result of the same lease transaction. If the property owner is obligated to a 3rd party real estate broker for payment of a commission in connection with the same extension or renewal of a tenant lease, then the commission payable to the property manager for such extension or renewal shall equal the positive difference, if any, between the commission percentage agreed to between the property owner and the property manager for renewals (not to exceed three percent (3%)) and the commission to be paid to such 3rd party real estate broker. Said commission shall be earned on the date of tenant's execution of a renewal, extension or option to renew.

3. Sale

- a. In the event the property owner engages the developer to sell the property, a fee, as agreed to in the sale agreement, shall be payable to the property manager at closing. In the event the property owner chooses to sell the property on its own, or to engage a 3rd party to sell the property, the owner agrees to pay to the property manager ½% on the gross sale price for the administration of such sale.

4. Modernization, Rehabilitation and Construction

- a. It is expected that the developer would be engaged to provide modernization, rehabilitation and construction services. A construction management fee in a range of 3% to 10% would apply to all hard costs. The range of the fee would be based on the size and scope of any particular project as may be agreed upon by the property owner and the developer.

5. Tenant Improvement or Repair Projects

- a. The developer agrees to manage tenant improvement or repair projects as additional services. To compensate the developer for such services, the property owner would be requested to pay the developer a CM fee in the range of 3% to 10% of all hard costs. The range of the fee would be based on the size and scope of any particular project as may be agreed upon by the property owner and the developer.

We understand that each project brought forward will be unique and we are negotiable on a fee structure that will be competitive to the market and add value to FSMC.



© Goody Clancy Images





**DEVELOPER PROPOSAL:
PARTNERSHIP IN GREATER
ROCHESTER AREA**

RELEVANT EXPERIENCE

The joint venture of Buckingham-LeChase Development draws upon the experience of two highly successful and well-respected local companies—Buckingham Properties and LeChase Construction Services. Our firms’ combined depth of expertise and knowledge ensures our ability to meet FSMC’s expectations for a partner who can provide the full range of services for development opportunities.

Buckingham Properties has a successful track record of developing and redeveloping mixed-use facilities and buildings in the greater Rochester area. We have experience developing-to-suit on projects such as the new Bryant & Stratton College campus in Greece and the new distribution center for American Tire Distributors near the Rochester airport, as well as developing on speculation as was the case with the 80,000 square foot Class A office building which was later leased to EarthLink. Our leasing agents negotiate the leasing of over one million square feet each year for our portfolio of over 60 properties. Buckingham provides full service on-site management to all of these properties, including the 880,000 square foot Xerox Tower, which was acquired in 2013.

Over the last 10 years, LeChase has completed or has under way \$1.5 billion of commercial projects and \$2.7 billion of industrial projects. We have performed work for over 30 public and private higher education institutions throughout upstate New York and 40 health care institutions across the Northeast. LeChase’s relevant experience in the Rochester region includes projects for Kodak, Xerox, Bausch+Lomb, University of Rochester, Rochester Institute of Technology, General Motors, IIT Exelis, STC-Moser Baer Technologies as well as many others. We also have considerable experience with sustainable construction; our vast experience with Leadership in Energy & Environmental Design® (LEED) projects is highlighted in the accompanying chart.

LeChase Construction LEED® Experience				
	Certified		Registered	
	Projects	Value	Projects	Value
 Platinum	4	\$117 million	2	\$66 million
 Gold	11	\$263 million	10	\$360 million
 Silver	8	\$118 million	25	\$404 million
 Certified	7	\$143 million	5	\$175 million
	30	\$641 million	42	\$1 billion

The following pages detail several of Buckingham’s and LeChase’s notable relevant projects including Class A offices, medical facilities, multi-tenant industrial and flex complexes, science and technology facilities, educational buildings, retail spaces and residential units.





ALEXANDER PARK SOUTH

REDEVELOPMENT OF THE GENESEE HOSPITAL CAMPUS



ALEXANDER PARK SOUTH

OWNER:

Buckingham Properties

BUCKINGHAM PROPERTIES' ROLE:

Developer; Owner; Property Manager

SCHEDULE:

2006 to 2012

PROJECT DESCRIPTION:

After the Genesee Hospital closed in 2001, Buckingham Properties saw the potential for a mixed-use complex that would fill a void in the area. The development concept for Alexander Park included a mix of office, medical, retail and residential uses, with a plan to unify existing buildings with new construction to reinvigorate the neighborhood.

Development began with the renovation and reconfiguration of 400,000 square feet of the defunct hospital. These upgraded buildings are now fully leased to MVP Health Care and several departments of Rochester General Hospital. The existing 1,850 space parking garage was rebuilt and upgraded with the latest technology for tenants and visitors.

Canandaigua National Bank opened a free-standing branch fronting Alexander Street in 2009. With great confidence in the area, Buckingham pushed forward with construction of a new 80,000 square foot Class A office shell and 20,000 square foot medical office building on speculation. The risk paid off when EarthLink signed on for the space. The Buckingham team managed the interior build-out for EarthLink, which was completed in just four months. EarthLink has already expanded into adjacent space, and Jimmy John's Gourmet Sandwiches opened on the street level. The 20,000 square foot built-on-spec medical office building is leased to RGH Imaging and Industrial Medicine Associates.

Major planning for Alexander Park involved taking apart what was there, and figuring out how to put it back together to form a cohesive neighborhood concept.

Significant environmental clean-up included underground work and significant asbestos abatement, all while the buildings were occupied. Working in a tight, urban site was another major constraint. Construction of the 80,000 square foot building for EarthLink took place just nine feet away from the street at the busy intersection of Monroe Avenue and Alexander Street.

AWARDS:

2012 NAIOP Annual Award - Mixed-Use





MIDTOWNTOWER

OWNER:

Buckingham Properties/Morgan Management

BUCKINGHAM PROPERTIES' ROLE:

Developer; Co-Owner

SCHEDULE:

2014 to 2015

PROJECT DESCRIPTION:

Buckingham Properties, in a joint venture partnership, acquired the remains of Midtown Tower from The City of Rochester in 2013. The Tower is what remains on the superblock of the former Midtown Plaza, the nation's first indoor shopping mall. Located in Rochester's Center City, the repositioned Tower is being expanded to nearly 400,000 square feet, and will include ground floor retail, two floors of modern office space, and 179 contemporary residential units on the upper floors.

Floors two and three will house 80,000 square feet of premier Class A office space. Office employees will have direct access to secure, underground parking.

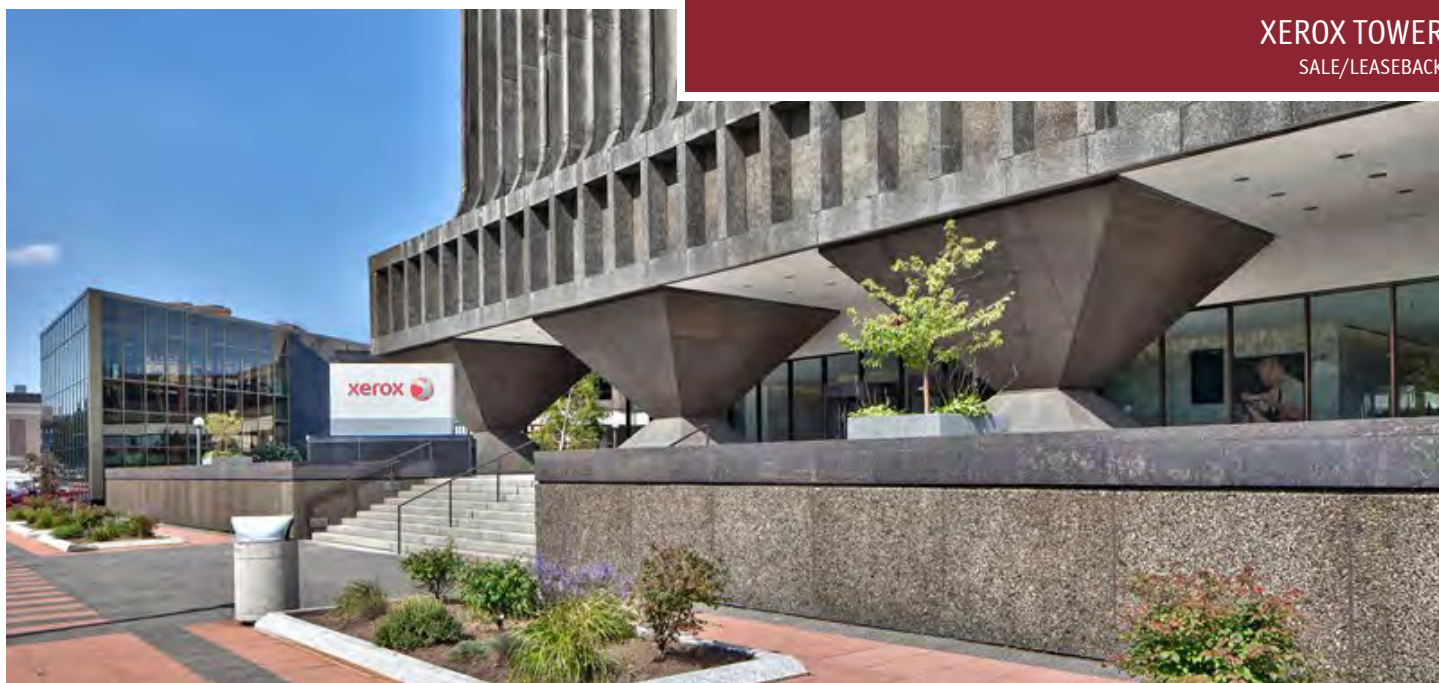
The lower floor is designed to attract and optimize a bustling retail component for Downtown Rochester. The two-story building addition along Broad Street was designed with a grocery store in mind, and has already drawn attention from several retailers. Adjacent to this space, Parcel 7 offers 36 on-street parking spaces which are designed to service ground floor retailers. All ground floor tenants will have direct street entries and the opportunity to dress storefront windows along an interior atrium, which serves as the building's primary axis of travel.

An exterior pedestrian-only corridor is planned for along the West facade, which provides a great opportunity for smaller boutique shops and outdoor eating areas. This "street of



shops" will become an extension of the recently named "Midtown Plaza," allowing pedestrians to enjoy restaurant and shopping amenities in addition to the City's green space.





XEROXTOWER

OWNER:

Buckingham Properties/Morgan Management

BUCKINGHAM PROPERTIES' ROLE:

Owner; Property Manager

SCHEDULE:

Acquired 2013

PROJECT DESCRIPTION:

Buckingham Properties acquired the 880,000 square foot Xerox Tower in a classic sale and lease-back transaction after several years of interest and negotiation. Xerox is leasing the building back for eight years with an option to renew. The property includes the 30-story tower, an annex, 700-seat auditorium and underground parking garage.

The sale and lease-back model has become a solution for companies no longer interested in managing real estate. This type of transaction allows companies like Xerox Corp. to invest in and grow their core business.

A dedicated team of property management staff was assembled for Xerox Square, consisting of ten full-time, on-site employees. This team includes a facility manager, electrician, plumber, HVAC technician, maintenance planner, and building maintenance mechanics. Contracts for security, janitorial and food service operations are also managed by Buckingham Properties' affiliate Limited Liability Company.





AMERICAN TIRE DISTRIBUTORS

OWNER:

Buckingham Properties

BUCKINGHAM PROPERTIES' ROLE:

Developer; Owner

SCHEDULE:

2012 - 2013

PROJECT DESCRIPTION:

Buckingham Properties built a new distribution facility for American Tire Distributors (ATD), the nation's largest tire distributor at 1350 Scottsville Road. ATD formerly leased space at Buckingham's Pixley Industrial Center. When ATD's space needs changed, Buckingham worked with a partner to complete the new 124,850 square foot distribution facility, which nearly doubled ATD's square footage.

This facility is one of several new or upgraded distribution points as ATD expands their presence in the United States and Canada. Construction took place over approximately nine months, and was completed on time and within budget. Buckingham's partner completed the building shell, and Buckingham Construction, a wholly owned subsidiary of Buckingham Properties LLC, provided the interior build-out.





STONEYCREEKBUSINESSCENTER

OWNER:

Buckingham Properties/LeFrois Builders & Developers

BUCKINGHAM PROPERTIES' ROLE:

Developer; Co-Owner; Property Manager

SCHEDULE:

2012 - 2013

PROJECT DESCRIPTION:

Buckingham and a joint venture partner developed Stoney Creek Business Center, which includes a 17,500 square foot retail plaza, the 11,000 square foot Doodle Bugs! Child Care Center, and Bryant & Stratton College's 32,000 square foot Greece Campus.

The property was developed in phases. The first phase was the construction of a 32,000 square foot, built-to-suit facility for Bryant & Stratton College. The College opened its doors in January 2013 for some 450 students.

The second phase constructed a 17,500 square foot retail plaza adjacent to Bryant & Stratton. While the retail plaza was built-on-speculation, several tenants signed on immediately, including Yolickity, Wimpy's Burger Basket, and Zoom Tan.

The third phase of the project involved the construction of an 11,000 square foot Doodle Bugs! child care center on an adjacent pad site.



BUFFALO ROAD BUSINESS CENTER
REDEVELOPMENT OF FORMER KODAK FACILITY



BUFFALOROADBUSINESSCENTER

OWNER:

Buckingham Properties

BUCKINGHAM PROPERTIES' ROLE:

Developer; Owner; Property Manager

SCHEDULE:

Acquired 1998

PROJECT DESCRIPTION:

Buckingham Properties acquired and redeveloped this 488,000 square foot former Kodak Facility on Buffalo Road at Mt. Read Boulevard. The Business Center was successful redeveloped into a multi-tenant industrial complex. Major current tenants include TRANE and American Aerogel.



UNIVERSITY BUSINESS CENTER

REDEVELOPMENT OF FORMER BURROUGHS FACILITY



UNIVERSITY BUSINESS CENTER

OWNER:

Buckingham Properties

BUCKINGHAM PROPERTIES' ROLE:

Developer; Owner; Property Manager

SCHEDULE:

Acquired 1990

PROJECT DESCRIPTION:

Buckingham Properties acquired and redeveloped this 408,000 square foot former Burroughs Adding Machine Company facility on University Avenue at Culver Road. The Business Center was successful redeveloped into a multi-tenant office and industrial complex. Major current tenants include Monroe Muffler, Hot Shots, RocVentures and a Verizon Wireless retailer. Overall, the nine building complex offers executive suites to large office and industrial flex spaces.



GATEWAY BUSINESS CENTER
REDEVELOPMENT OF FORMER RAGU SAUCE PLANT



GATEWAY BUSINESS CENTER

OWNER:

Buckingham Properties

BUCKINGHAM PROPERTIES' ROLE:

Developer; Owner; Property Manager

SCHEDULE:

Acquired 1996

PROJECT DESCRIPTION:

Buckingham Properties acquired and redeveloped this 622,000 square foot former Ragu Sauce Plant into a multi-tenant industrial and office complex. Current major tenants include the United States Postal Service, Volunteers of America, The Richmond Group, and Private Label Foods.





BUCKINGHAMCOMMONS

OWNER:

Buckingham Properties

BUCKINGHAM PROPERTIES' ROLE:

Developer; Owner; Property Manager

SCHEDULE:

2004 - 2006

PROJECT DESCRIPTION:

The building at 85 Allen Street, formerly the ArtCraft Optical building, was transformed by Buckingham Properties into a mixed-use structure that combines 36 loft-style apartments with commercial tenants.

The repurposed building, now known as Buckingham Commons, is a great example of a structurally sound building in the heart of the city that was no longer needed as a manufacturing facility. Buckingham creatively re-purposed the structure into a live and work structure that is popular and needed in today's marketplace.

Buckingham Commons now offers a vibrant building with loft apartments, a rooftop deck and commercial offices. The building boasts a spectacular view of Downtown Rochester and Frontier Field from the rooftop deck, complete with bleachers to take in the game on a sunny afternoon.



THE MICHAELS-STERN BUILDING
REDEVELOPMENT OF FORMER MICHAELS-STERN & CO. BUILDING



THE MICHAELS-STERN BUILDING

OWNER:

Buckingham Properties

BUCKINGHAM PROPERTIES' ROLE:

Developer; Owner; Property Manager

SCHEDULE:

2001 - 2002

PROJECT DESCRIPTION:

This seven story, rectangular brick structure in the heart of downtown Rochester was originally built in 1893 for Michaels-Stern, Co., an apparel manufacturer. The building served as manufacturing, office, wholesale and retail functions for the firm until they closed in 1972.

Buckingham Properties acquired and redeveloped the 122,500 square foot building into a mixed-use facility. Upper floors of the building were converted into 45 residential lofts. Lower floors are currently occupied by Catholic Family Center.





EAGLE'S LANDING BUSINESS PARK

OWNER:

Buckingham Properties/LeFrois Builders & Developers

BUCKINGHAM PROPERTIES' ROLE:

Developer; Co-Owner; Property Manager

SCHEDULE:

2008 - 2010

PROJECT DESCRIPTION:

Buckingham Properties developed this new flex business park in Henrietta with a joint venture partner. Located near Winton Road, this modern complex offers excellent access to expressways and the NYS Thruway. The campus is currently home to Paychex, Fuji Film, Butler/Till and Lumetrics, to name a few.

Eagle's Landing is comprised of two parallel flex buildings totalling 190,000 square feet. The location is perfect for office or light industrial users looking for a suburban site with easy expressway access and lots of nearby amenities.

The building design allows for either a dock door or a glass wall system at the rear entrances to each space making office, light industrial, lab or showroom use easy alternatives.





INFOTONICS, INC.

OWNER:

Infotonics, Inc.
5450 Campus Drive
Canandaigua, NY 14424
Contact: Mary Jo Johnson, 585.919.3031

ARCHITECT:

Pathfinder Engineers LLP
3300 Monroe Ave, Suite 306
Rochester, NY 14618
Phone: 585.218.0730

LeCHASE'S ROLE:

Construction Manager

VALUE:

Construction: \$14 million
Process Equipment: \$18 million

SCHEDULE:

June 2003 to May 2004

PROJECT DESCRIPTION:

Regarded as the premier microsystems R&D facility east of the Mississippi River, the Infotonics Technology Center of Excellence in Photonics and Microsystems featured an 11-month design and construction schedule. The facility required highly specialized construction and included Class 100 cleanrooms, HVAC, exhaust, piping, wall and floor construction. The design included both "bay" and "chase" and "ballroom" configurations and included a new central utility plant, custom recirculation air handling units, DI/RO water systems, a process cooling system, specialized scrubbed exhaust systems, waste treatment systems, an UHP gas system and a toxic gas monitoring system.

The Center includes 21,900 SF of clean space including 8,800 SF of Class 100; 1,500 SF of Class 1000; 1,000 SF of

Class 10,000; 1,100 SF of Class 100,000; and 9,500 SF of clean space. The facility has a high degree of flexibility to accommodate current and future technology and growth.

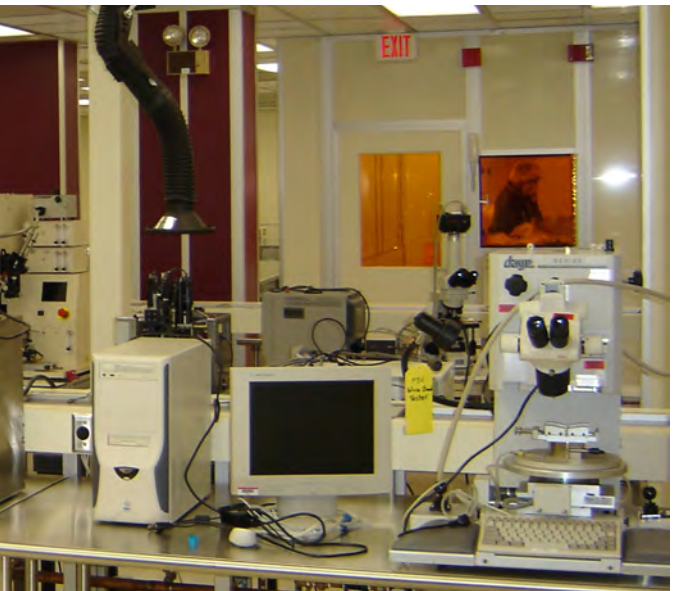
Life safety for occupants and the community was paramount. The design exceeds established guidelines for process and exhaust design, featuring redundant systems to ensure safety in systems that utilize highly toxic and combustible materials and gases.

Energy conservation measures throughout the facility were evaluated by NYSERDA for funding purposes, with approximately \$400,000 received in grants / incentives.

In addition to its role as CM for the project, LeChase served as Procurement Manager and Agent for the purchase of all the process tools. LeChase also provided the cleanroom construction protocol, and served as the Commissioning Agent for both the facility construction as well as the process tool installation. The facility commissioning served to both meet the owner's requirements as well as the requirements of the NYSERDA grant. Process tools were commissioned using a SEMATECH protocol.

The Infotonics Technology Center has received the following awards:

- \$362,000 NYSERDA grant for energy conservation measures incorporated into the design
- American Council of Engineering Companies (ACEC) New York: 2005 Diamond Award for Engineering Excellence
- American Council of Engineering Companies (ACEC) National: 2005 National Recognition Award for Engineering Excellence
- American Society of Heating Refrigeration and Air-Conditioning Engineers (ASHRAE): 2005 First Place Technology Award Region 1 (Northeast USA)



INFOTONICS, INC.

OWNER:

Infotonics, Inc.
5450 Campus Drive
Canandaigua, NY 14424
Contact: Mary Jo Johnson, 585.919.3031

ARCHITECT:

Pathfinder Engineers LLP
3300 Monroe Ave, Suite 306
Rochester, NY 14618
Contact: Dave Meyer, 585.218.0730

LeCHASE'S ROLE:

Construction Manager

VALUE:

\$6.5 million

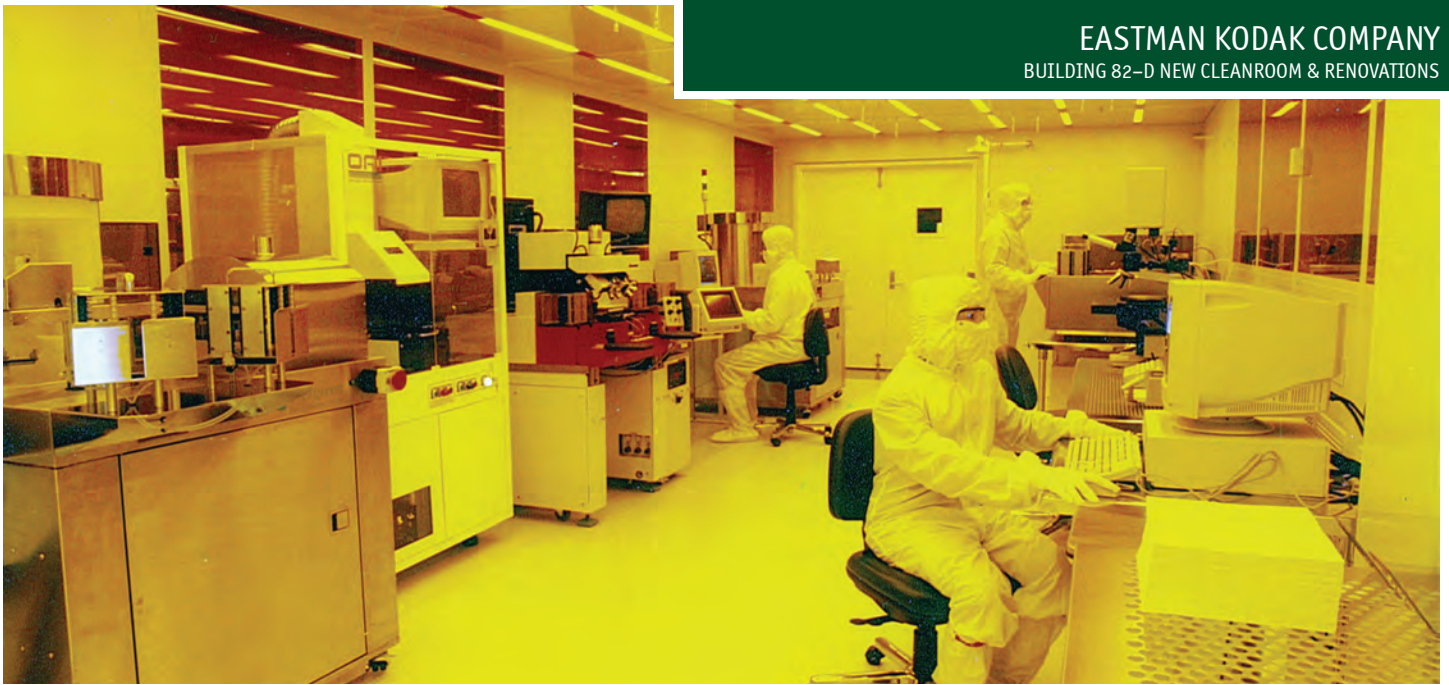
SCHEDULE:

December 2006 to November 2007

PROJECT DESCRIPTION:

This project consisted of 3,500 SF of renovations for a Class 1,000 semiconductor packaging lab and supporting functions including wafer dicing, plating, specialized deposition and bonding. LeChase acted as the owner's agent for procurement of all process tools. This project also included the purchase and installation of a SUSS Automated Bond Cluster tool in the main fab (Class 100).





EASTMAN KODAK COMPANY

OWNER:

Eastman Kodak Company
Kodak Park, Building 23 Purchasing
Rochester, NY 14652
Contact: Steve Barry, 585.722.2955

ARCHITECT:

Erdman Anthony & Associates, Inc.
2165 Brighton-Henrietta Town Line Road
Rochester, NY 14623
Contact: Harold Grabowski, 585.477.8888

ENGINEER:

Abbie Gregg, Inc.
1130 East University Drive, Suite 105
Tempe, AZ 85281
Contact: Abbie Gregg, 602.446.0056

LeCHASE'S ROLE:

Construction Manager & Project Consultant

VALUE:

\$4.2 million

SCHEDULE:

5 months

PROJECT DESCRIPTION:

Named "Project of the Year" by Kodak, LeChase completed this Class 100, 1,000 and 10,000 research and OLED flat screen pilot program, while providing cleanroom construction protocol for the entire project. The project included a sealed plenum/ceiling system, module wall system, ionization system with double grounded ESD flooring system, the installation of a \$2 million "first-in-the-world" evaporation development coater and the relocation of six existing wet labs to renovated spaces.



In addition, the project highlighted a bay/chase design, as well as the fourth floor location of a large DI water system. The system required special rigging, including the removal of the exterior curtain wall.



UNIVERSITY OF ROCHESTER

OWNER:

University of Rochester
 Planning & Project Management
 212 Fauver Stadium, Room 203B
 Rochester, NY 14627
 Contact: Wayne Goodwin, 585.275.5041

ARCHITECT:

Perkins & Will
 55 Court Street, 2nd floor
 Boston, MA 02108
 Contact: Gary Shaw, 617.478.0300

LeCHASE'S ROLE:

General Contractor

VALUE:

Phase I: \$23 million
 Phase II: \$3.95 million

SCHEDULE:

Phase I: May 2005 to December 2006
 Phase II: July 2006 to March 2007

PROJECT DESCRIPTION:**Phase I:**

This project consisted of the construction of a 100,000 SF biomedical engineering & optics building. The five-story structure houses lecture rooms, teaching labs, offices and research labs. A large five-story center atrium with skylights is the focal point of the building.

Site preparation tasks included the relocation of two 24"-diameter chilled water lines and the preservation of an existing steam tunnel that ran through the middle of the site.

**Phase II:**

Phase II included the fit-out of the 4th and 5th floors that housed the relocated Institute of Optics. They were similar in layout to the 2nd and 3rd floors that were home to the Biomedical Engineering Department. The 4th and 5th floors were a mix of office space and research labs.

Goergen Hall was the University of Rochester's first building for which environmental issues such as sustainability were taken into consideration. The new building meets enough environmental criteria to be certified through the Green Building Council's LEED® building rating system.



UOFR MEDICAL CENTER

OWNER:

University of Rochester Medical Center
601 Elmwood Avenue
Rochester, NY 14611
Contact: Dan McGraw, 585.275.1959

ARCHITECT:

Phase I:
Perkins & Will
Phone: 212.251.7000

The DeWolff Partnership
Phone: 585.454.5860

Phase II:
King & King Architects
Contact: Peter King, 315.682.6180

LeCHASE'S ROLE:

CM-at-Risk

VALUE:

Phase I: \$56 million
Phase II: \$26 million

SCHEDULE:

Phase I: June 1997 to July 1999
Phase II: July 2000 to December 2001

PROJECT DESCRIPTION:

As a result of the University of Rochester's aggressive move to maintain a national leadership role in biomedical research through the enhancement of its program and the attraction of new talented faculty, LeChase constructed Phase I of this flexible research facility.

The goal was for biomedical research to be conducted in the 100,000 SF of wet labs and administrative space, the 30,000 SF vivarium and in the teaching and learning labs. These



labs were equipped with a vacuum and central CO2 system, natural gas and RO & DI water system services.

Incorporated within this facility were several classroom spaces, including a 250-seat lecture hall and the 125-seat case method room. The case method room was located within the 47,000 SF entry link that also encompassed several conference and meeting rooms and a large entry pavilion.

Due to our proven track record of completing Phase I, LeChase was again selected to provide construction management services on Phase II of this state-of-the-art facility. Phase II consisted of a new 143,000 SF, four-story biotech medical research facility.

Mechanical systems included 100 percent outside air with VAV distribution and a lab pressurization control system for containment designed by Phoenix Systems. These labs contained manifolded exhaust hoods. Aside from allowing for excellent reconfiguration benefits, the system was outfitted with dual fans for reliability. An animal inhalation testing suite was also installed requiring specialized mechanical interface with the existing building system.

WWW.LECHASE.COM





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UNIVERSITY OF ROCHESTER

OWNER:

University of Rochester
River Campus Planning & Project Management
271 East River Road
Rochester, NY 14627
Contact: Paul Spaulding, 585.275.2232

ARCHITECT:

King & King Architects
358 West Jefferson Street
Syracuse, NY 13202
Phone: 315.682.6180

ENGINEER:

M/E Engineering, PC
150 North Chestnut Street
Rochester, NY 14604
Phone: 585.288.5590

LeCHASE'S ROLE:

CM-at-Risk

VALUE:

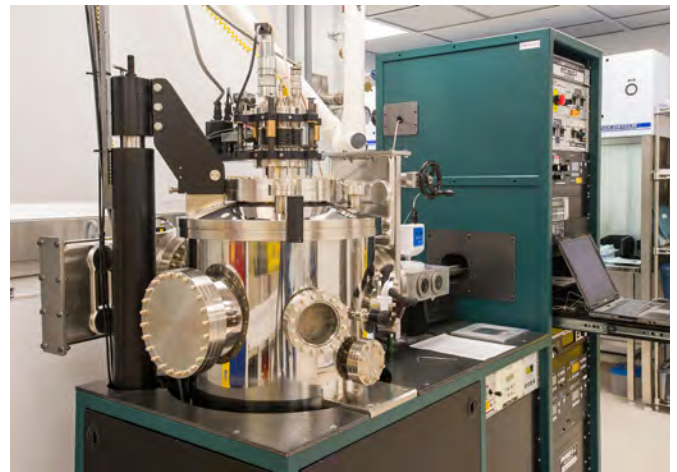
\$2.2 million

SCHEDULE:

March 2010 to April 2011

PROJECT DESCRIPTION:

This project consisted of the conversion of a typical university lab into a Class 1000 biomedical research cleanroom. This project included the installation of two new air handlers; laboratory gases including methane, hydrogen, argon, nitrogen, oxygen and chlorine; as well as a dedicated PSP® Teflon coated chemical exhaust system with a dilution fan. Other miscellaneous work was completed to meet specific cleanroom requirements.





UNIVERSITY OF ROCHESTER MEDICAL CENTER

OWNER:

University of Rochester Medical Center
601 Elmwood Avenue
Rochester, NY 14611
Contact: Greg Meyer, 585.275.8068

ARCHITECT:

Francis Cauffman Architects
2120 Arch Street
Philadelphia, PA 19103
Contact: Glen Conley, 215.568.8250

LeCHASE'S ROLE:

CM-at-Risk

VALUE:

\$42 million

SCHEDULE:

May 2009 to March 2011

LEED® CERTIFICATION:

LEED Gold Certified

PROJECT DESCRIPTION:

This new 199,320 SF building is the University's new model for dry research facilities. The building has four floors above grade and a new full basement that house some mechanical systems. The majority of the new mechanical systems are housed in a mechanical penthouse on top of the building.

The interior of the building is a combination of open landscape work areas along with hard wall office areas that will utilize a glass wall/door system, allowing more natural light to penetrate the interior spaces. There is a two-story open lobby pavilion area to be used as a multi-purpose space for various events. The building also has an open staircase located in the central commons area that rises the full four stories allowing for ease of travel for researchers and to



All photos Copyright 2011 Chris Cooper Photography

encourage interaction among departments.

The exterior of the building is a combination of masonry and glass with some cast stone accents. The building's main entry outside the lobby has a two-story masonry canopy adjacent to a glass curtain rising four stories at the commons area. The exterior also includes landscaping and a parking lot.



BAUSCH AND LOMB PHARMACEUTICALS

OWNER:

Bausch & Lomb Pharmaceuticals
1 Bausch & Lomb Place
Rochester, NY 14604
Contact: Daniel DiLoreto, 585.338.6000

ARCHITECT:

Flad & Associates
644 Science Drive
Madison, WI 53711
Contact: James Gazvoda, 608.238.2661

LeCHASE'S ROLE:

Construction Manager

VALUE:

\$14.5 million

SCHEDULE:

18 months

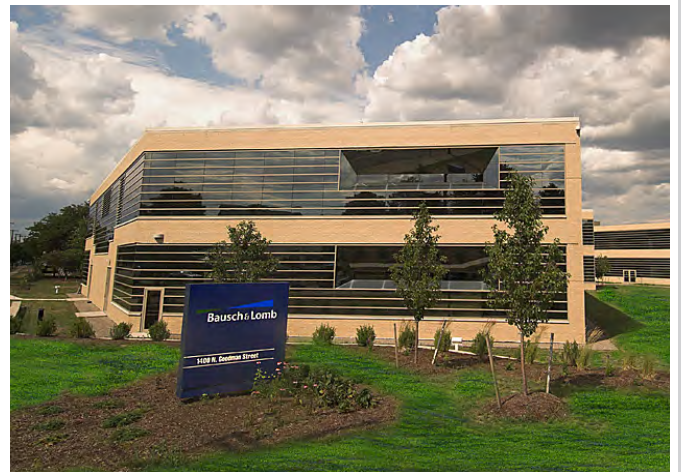
PROJECT DESCRIPTION:

This addition consisted of 100,000 SF of laboratory/office space. Included within this space were 10 modular 50 x 50 lab units with interior demountable partitions.





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BAUSCH AND LOMB PHARMACEUTICALS

OWNER:

Bausch & Lomb Pharmaceuticals
1 Bausch & Lomb Place
Rochester, NY 14604
Contact: Daniel DiLoreto, 585.338.6639

ARCHITECT:

Flad & Associates
644 Science Drive
Madison, WI 53711
Contact: Chris Harp / Ralph Jackson, 608.232.1242

LeCHASE'S ROLE:

Construction Manager / General Contractor

VALUE:

\$25 million

SCHEDULE:

June 2005 to February 2007

PROJECT DESCRIPTION:

The project consisted of a two-story, 75,000 SF addition to the existing pharmaceutical research laboratory building. New laboratories, offices and shell space were included and design and construction phases were fast-tracked.

LeChase performed both preconstruction and construction phase services on this project.



XEROXCORPORATION

OWNER:

Xerox Corporation
800 Phillips Road
Webster, NY 14580
Contact: Dan McNeil, 585.414.4088

ARCHITECTS:

SWBR Architects
387 E. Main Street
Rochester, NY 14604
Contact: Dave Bienetti, 585.232.8300

M/E Engineering, P.C.
150 N. Chestnut Street
Rochester, NY 14604
Contact: Ron Mead, 585.288.5590

Oneira Corporation
2829 Sherwood Heights
Oakville, Ontario
Canada L6J 7R7
Contact: Rob Jickling, 905.829.1711

LeCHASE'S ROLE:

CM-at-Risk

VALUE:

\$60 million

SCHEDULE:

September 2005 to July 2007

PROJECT DESCRIPTION:

This project involved the construction of a five-story, 100,000 SF facility to manufacture EA toner on a Greenfield site. In addition to the building, LeChase managed the installation of the process which included piping, reactors, tanks, pumps, heat exchangers, instrumentation and controls. LeChase was also responsible for the procurement of all major equipment for the facility and the process. Some of this equipment was highly specialized and had to be purchased overseas.

OWNER:

Eastman Kodak Company
343 State Street
Rochester, NY 14614
Contact: Wayne Donahey, 585.722.6034
Herbert Erhardt, 585.588.4657

ARCHITECT:

Bergmann Associates
28 East Main Street
200 First Federal Plaza
Rochester, NY 14614
Contact: Kevin Curran, 585.323.5135

LeCHASE'S ROLE:

Design-Builder

VALUE:

\$12.3 million

SCHEDULE:

May 2013 to December 2013

PROJECT DESCRIPTION:

This project consisted of the demolition and reconfiguration of sensitive compartmented information facility (SCIF) space for manufacturing space.

The build-out of 18,345 SF of the second floor and 23,890 SF of the third floor of B326 within Eastman Business Park consisted of general support and mechanical areas as well as an 8,000 SF Class 1,000 cleanroom and a 14,100 SF Class 10,000 cleanroom.

The scope of work included cleanroom walls, ceilings, finishes, electrostatic dissipative epoxy floor systems, HVAC building automation systems, HVAC supply equipment and services, HVAC exhaust equipment and services including an integrated scrubber system, plumbing and plumbing equipment, fire protection and electrical service upgrades. Additionally, reverse osmosis (RO) process piping was installed per requirements to support the manufacturing operations.

Note: LeChase is committed to respecting the confidentiality of the projects and clients we conduct business with. Due to the sensitivity of this project and the propriety nature of the work, no project or site photography is available.



GENENCOR INTERNATIONAL

OWNER:

Genencor International
1700 Lexington Avenue
Rochester, NY 14606
Contact: Irv Aberbach, 585.256.5200

ARCHITECT:

CRB/Bergmann Associates
28 East Main Street
200 First Federal Plaza
Rochester, NY 14620
Phone: 585.232.5135

LeCHASE'S ROLE:

Construction Manager

VALUE:

\$10 million

SCHEDULE:

September 2002 to August 2003

PROJECT DESCRIPTION:

This project highlighted the construction of a new 21,000 SF biotech manufacturing facility equipped with validation cleanrooms, offices, labs, support facilities and a cafeteria. In addition, LeChase led the purchasing of processing equipment.

LeChase acted as the Commissioning Agent for this project working directly with Genencor's validation consultant. This project was commissioned and validated under FDA cGMP protocols.





GENERAL MOTORS

OWNER:

General Motors
Global Alternative Propulsion Center
10 Carriage Street
Honeoye Falls, NY 14472
Contact: Michael Stratton, 585.624.6627

ARCHITECT:

SWBR Architects
387 East Main Street
Rochester, NY 14604
Contact: Kevin Marren, AIA, 585.232.8300

LeCHASE'S ROLE:

General Contractor

VALUE:

\$4.4 million

SCHEDULE:

2002 (9 months)

PROJECT DESCRIPTION:

LeChase was hired to construct a 83,000 SF pre-engineered building shell. The interior space consisted of a 53,000 SF research and development lab area, 20,000 SF of office space and 10,000 SF of mechanical and electrical space. The exterior shell consisted of blended EIFS, metal panel and glass curtain wall systems to achieve an enhanced facade.

GENERAL MOTORS

OWNER:

General Motors
Global Alternative Propulsion Center
10 Carriage Street
Honeoye Falls, NY 14472
Contact: Steve McIlwaine, 585.624.6615

ARCHITECT:

Clark Patterson Associates
205 St. Paul Street, Suite 500
Rochester, NY 14604
Phone: 800.274.9000

LeCHASE'S ROLE:

Design-Builder

VALUE:

\$6.8 million

SCHEDULE:

9 months

PROJECT DESCRIPTION:

To complete this project, LeChase renovated 77,000 SF of an existing complex consisting of three buildings. Additions included 18 specialized, explosion-proof labs and a 10,000 SF, Class 100,000 cleanroom. LeChase was also required to provide a new compressor building and a new speciality gas tank farm.

In addition, LeChase was responsible for final design of the facility including HVAC, process mechanical, controls, electrical, architectural, structural and sitework.



ITTEXELIS**OWNER:**

ITT Exelis
800 Lee Road
Rochester, NY 14606
Contact: Phil Reifsteck, 585.269.7617

ARCHITECT:

Pathfinder Engineers
134 South Fitzhugh Street
Rochester, NY 14608
Contact: David Meyer, 585.325.6004

LeCHASE'S ROLE:

Design-Builder

VALUE:

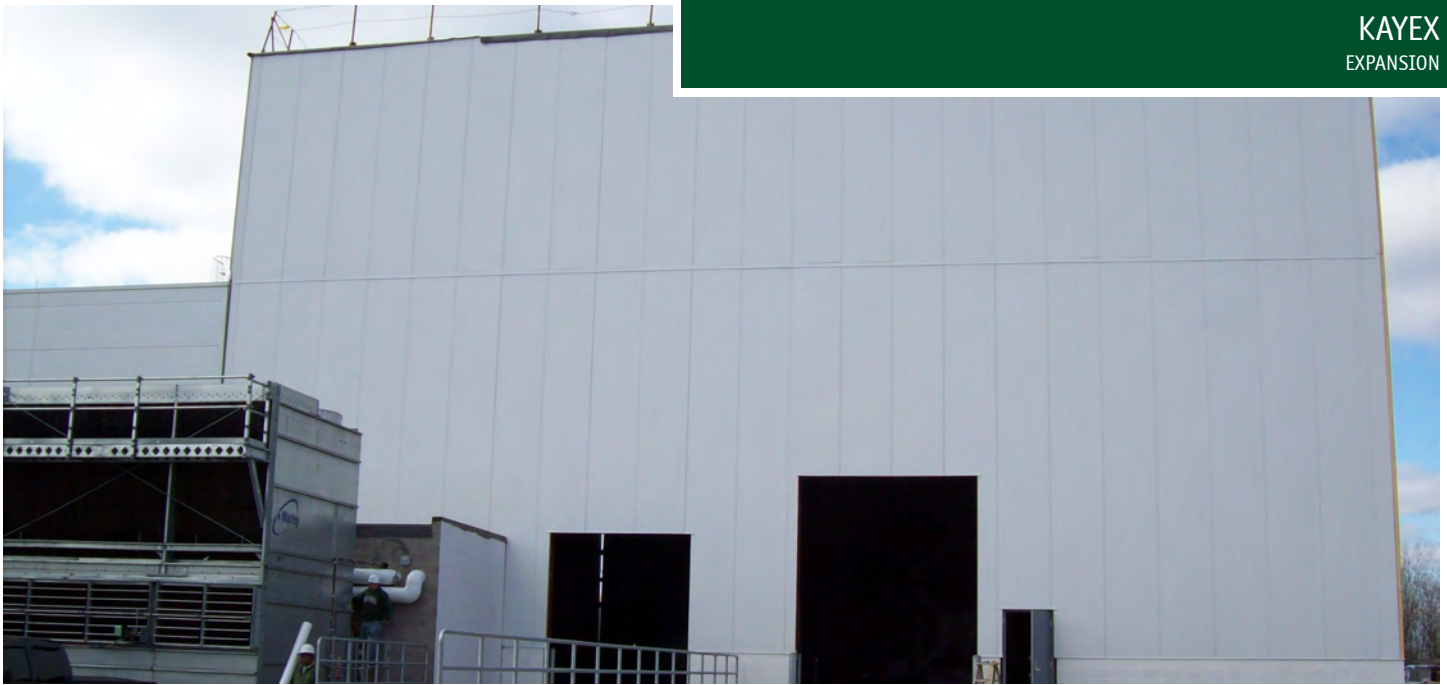
\$3 million

SCHEDULE:

May 2009 to January 2010

PROJECT DESCRIPTION:

This project was a fast-track turnkey design-build project. The project consisted of the demolition of 10,000 SF of the existing space, the construction of 9,200 SF of new cleanroom space at B601 and the relocation of very large equipment from the Hawkeye complex. Work included the architectural build-out as well as mechanical and electrical systems for Class 100 & 1000 cleanroom spaces. There was also additional demolition and restoration at the Hawkeye complex.



KAYEX

OWNER:

Kayex—A Division of SPX Corporation
1000 Millstead Way
Rochester, NY 14624
Contact: Joseph Stahl, 585.235.2524

LEAD DESIGNER:

Integrated Energy Concepts Engineering, P.C.
3445 Winton Place, Suite 102
Rochester NY 14623

ARCHITECT:

LaBella Associates, PC
300 State Street, Suite 201
Rochester, NY 14614

LeCHASE'S ROLE:

General Contractor

VALUE:

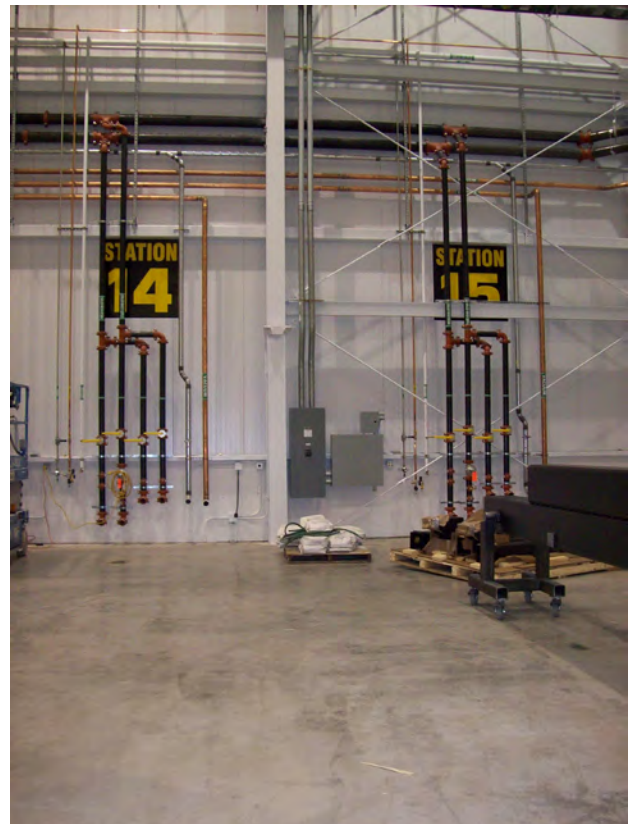
\$2.6 million

SCHEDULE:

July 2007 to January 2008

PROJECT DESCRIPTION:

This project consisted of a 9,300 SF, 50-foot high, structural steel framed addition for a manufacturer of crystal growing machines. Three inch thick insulated metal wall panels and a flat roof with a fully-adhered EPDM membrane were installed. The nine workstations all had specific electrical, gas and water requirements. Two 15-ton overhead cranes, a forced air HVAC system, high bay lighting, additional parking, sidewalks, a new loading dock and landscaping were also included in the scope of work.





STC-MOSERBAERTECHNOLOGIES

OWNER:

STC – Moser Baer Technologies
5450 Campus Drive, Suite 200
Canandaigua, NY 14424
Contact: Dave Gottfried, STC, 585.919.3081

ARCHITECT:

Bergmann Associates
28 East Main Street
200 First Federal Street
Rochester, NY 14614
Contact: Kevin Curran, 585.232.5135

LeCHASE'S ROLE:

CM-at-Risk

VALUE:

\$3.4 million

SCHEDULE:

September 2011 to May 2012

PROJECT DESCRIPTION:

This project consisted of the demolition of an abandoned Class 10,000 cleanroom space and the construction of a new Class 1,000 cleanroom and gowning/equipment pass-through which expanded the footprint to 5,000 SF.

Utility support areas and services were expanded to the cleanroom for the boiler room, demineralized water make-up and specialty gases including nitrogen and air for product use. An overhead crane was installed and below grade service trenches were constructed. New air handling unit equipment was installed which included custom Mafna and Carrier units on new roof support steel. Finishes included conductive epoxy floors, special cleanroom wall systems and Armstrong cleanroom ceilings.

OWNER:

UCB Manufacturing Inc. / CellTech Pharmaceuticals
755 Jefferson Road
Rochester, NY 14623
Contact: David Yost, 585.274.5519

ARCHITECT:

Stantec
111 Grant Avenue, Suite 201
Endicott, NY 13760
Contacts: Brian Larson, 607.761.8533

LeCHASE'S ROLE:

Program Manager

VALUE:

\$10 million

SCHEDULE:

2 years

PROJECT DESCRIPTION:

This project was a complete turnkey project to design, construct and validate a greenfield project for a sterile syringe filling facility.

As the program manager, LeChase was responsible for contracting and managing the complete design (from the basis of design through detailed design) for permitting, site/civil, architectural, M/E/P and processes. In addition to the complete construction and final validation of the facility and processes, LeChase was also responsible for document management.



WYETH-LEDERLEBIOLOGICS

OWNER:

Wyeth-Lederle Biologics
300 East Avenue
Rochester, NY 14623
Contact: Facility has been sold.

ARCHITECT:

Flad and Associates
6200 Mineral Point Road
Madison, WI 53705
Contact: James Gazvoda, 608.238.2661

LeCHASE'S ROLE:

Construction Manager

VALUE:

\$16.7 million

SCHEDULE:

12 months

PROJECT DESCRIPTION:

Originally a 15-month project, LeChase followed a fast-track schedule and completed this 85,000 SF, FDA-validated vaccine research facility two months early. The facility consisted of Class II biomedical labs which required multi-process piping services, supply and exhaust systems and temperature control rooms.

To complete this project, LeChase worked closely with the architect and engineer for value engineering and design development reviews. In addition, LeChase pre-purchased owner-furnished HVAC and mechanical equipment.

LeChase performed both preconstruction and construction phase services on this project.





BAUSCH & LOMB, INC.

OWNER:

Bausch & Lomb, Inc.
1400 North Goodman Street
Rochester, NY 14692
Contact: Dan DiLoreto, 585.338.6639

ARCHITECT:

Fox and Fowle Architects
22 West 19th Street
New York, NY 10011
Contact: Robert Fox, 212.627.1700

LeCHASE'S ROLE:

Construction Manager & General Contractor

VALUE:

\$60 million

SCHEDULE:

24 months

PROJECT DESCRIPTION:

This 460,000 SF project was designed not only to conform to zoning requirements, but also to Bausch & Lomb's desire to build a neighbor-friendly building. To ensure the project's success, LeChase involved both the City of Rochester and neighbors in the early design phases. In addition, a partnership approach was used throughout the project, including the dual selection of the architect and the construction manager/general contractor. The result is One Bausch & Lomb Place, which offers the downtown workers, residents and visitors an opportunity to enjoy new types of spaces for relaxation and social gathering.

The building includes the five-story, 13,000 SF Wintergarden, a unique climate-controlled artistic and cultural center open to the public by day and host to a variety of events in the evening. The façade is a granite



faced, aluminum curtain wall. Also included are four high-rise, four low-rise elevators and a service elevator that provides access for workers, visitors and additional operational needs.



BLUECROSSBLUESHIELD

OWNER:

BlueCross BlueShield of the Rochester Area
165 Court Street
Rochester, NY 14647
Contact: Sue Eliazzewskj, 585.238.4262

ARCHITECT:

Fox and Fowle Architects
22 West 19th Street
New York, NY 10011
Contact: Dan Kaplan, 212.627.1700

LeCHASE'S ROLE:

Construction Manager (with Guaranteed Maximum Pricing)

VALUE:

\$37 million

SCHEDULE:

25 months

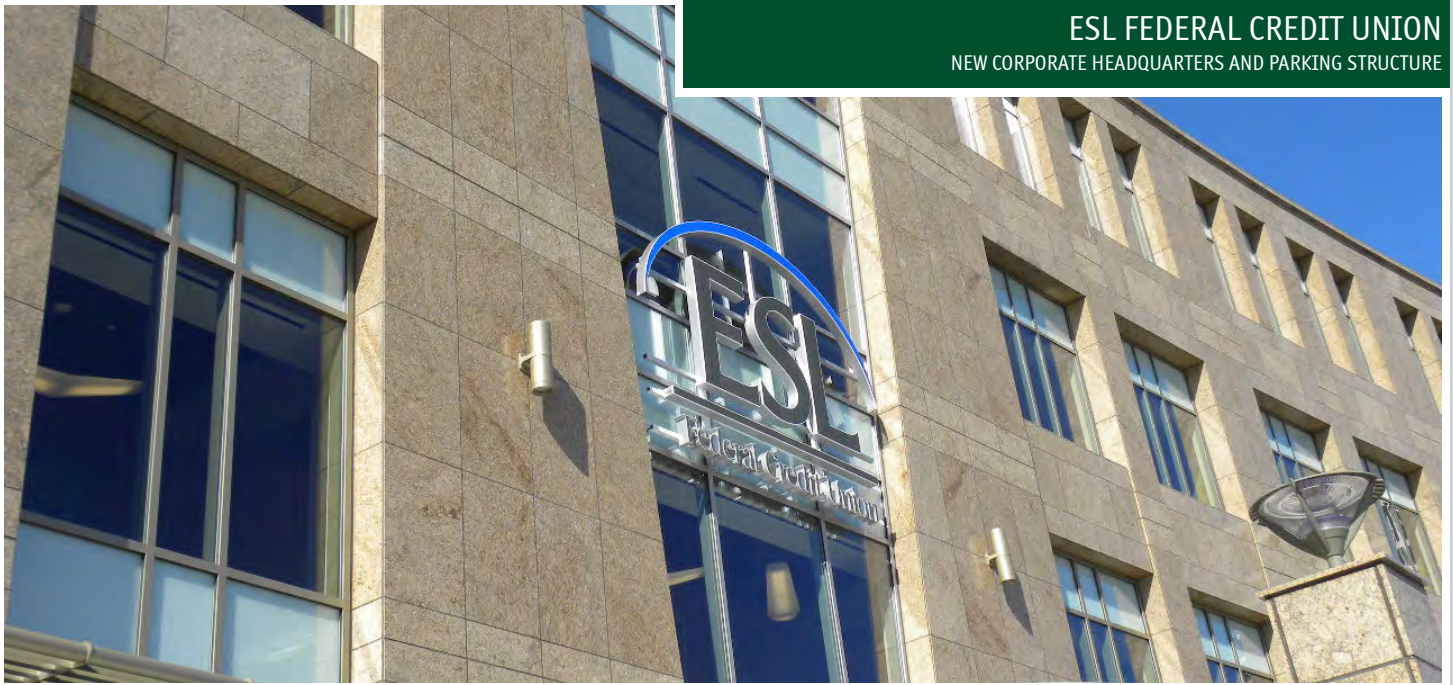
PROJECT DESCRIPTION:

This mid-rise, 292,000 SF office building featured a two-story main lobby/entrance structure and a six-story, clear space open atrium. The atrium, located in the core of the building, featured a massive skylight structure and eight escalators that provided vertical transportation to all floors. Along the east elevation, a 17,000 SF glass curtain wall system rose five stories and was a dramatic setting for the garden terrace. The terrace provided an open air space for lunch and relaxation for employees.

Other key features included a 500-car parking garage, a full kitchen/cafeteria, an 8,000 SF raised access floor computer room and a state-of-the-art communications system serving over 1,100 workstations.



Efficiency, flexibility and employee comfort were achieved through the use of a 60-foot, clear-span structural frame. This provided an open office environment with indirect glare reduction lighting.



ESL FEDERAL CREDIT UNION

OWNER:

ESL Federal Credit Union
225 Chestnut Street
Rochester, NY 14604
Contact: Joe Burkart, 585.943.4555

ARCHITECT:

LaBella Associates
300 State Street, Suite 201
Rochester, NY 14614
Contact: Mike Short, 585.454.6110

LeCHASE'S ROLE:

CM-at-Risk, Preconstruction Consultant

VALUE:

Construction Budget: \$53 million
Concrete Superstructure: \$4.4 million
Foundation and Slabs: \$2.2 million

SCHEDULE:

July 2008 to March 2010

LEED® CERTIFICATION:

LEED Certified

PROJECT DESCRIPTION:

The scope of this project included a six-story, 180,000 SF headquarters building with a 17,000 SF basement, as well as a parking structure with 537 stalls. A pedestrian bridge linked the office building and parking facility. Two vehicular and pedestrian connections also linked the new parking structure and the existing Washington Square parking structure.

Efficiency, flexibility and employee comfort were achieved in the headquarters building through the use of a 60-foot, clear-span structural frame. This provided an open office



environment with indirect glare reduction lighting.

LeChase was the low bidder on the parking garage superstructure and associated general trades which required 4,500 CY of concrete. LeChase was also the successful bidder for the foundation packages for both the headquarters and the parking structure, which included concrete pours of 3,150 CY and 2,500 CY respectively.

WWW.LECHASE.COM





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ROCHESTER INSTITUTE OF TECHNOLOGY

OWNER:

Rochester Institute of Technology
Facility Management Services
120 Lomb Memorial Drive
Rochester, NY 14623
Contact: Mark Williams, 585.475.4762

ARCHITECT OF RECORD:

SWBR Architects & Engineers, P.C.
387 East Main Street, Suite 500
Rochester, NY 14607
Contact: Mark Maddalina, 585.232.8300

DESIGN ARCHITECT:

FXFOWLE
22 West 19th Street
New York, NY 10011
Phone: 212.627.1700

LeCHASE'S ROLE:

Design-Builder

VALUE:

\$38 million

SCHEDULE:

Preconstruction: Fall 2009 to Spring 2011
Construction: April 2011 to January 2013

LEED® CERTIFICATION:

Registered with the certification goal of LEED Platinum.

PROJECT DESCRIPTION:

This project consisted of constructing the Golisano Institute for Sustainability (GIS) Research Building, a living laboratory for scientific discovery and experimental learning. This building was a unique university research and



education initiative focusing broadly on developing and introducing sustainable technologies for manufacturing, transportation, energy production and construction. GIS was the first in the world to offer a Ph.D. program in sustainability.

The facility contained integration test beds and eight support laboratories. Computing and collaborative spaces were also constructed to support research programs such as eco-IT, sustainable products and production systems, sustainable energy, sustainable mobility and build system sustainability.

The building itself was also a demonstration of sustainable technology. It incorporated a unique transparent infrastructure, a smart microgrid and a computing data center so that visitors could see firsthand the use of sustainable building technologies and energy systems.



© Park Ave Photo

**DEVELOPER PROPOSAL:
PARTNERSHIP IN GREATER
ROCHESTER AREA**

ATTACHMENT C

Insurance and Indemnification Requirements

1. **Insurance Limits**

Vendor and Vendor's subcontractor shall purchase and maintain at a minimum the following types of insurance coverage and limits of liability:

- A. **Commercial General Liability ("CGL")** with limits of insurance of not less than \$1,000,000 each Occurrence and \$2,000,000 Annual Aggregate. CGL coverage shall be written on ISO Occurrence form CG 00 01 10 93 or a substitute form providing equivalent coverage and shall cover liability arising from premises, operations, independent contractors, products-completed operations, and personal and advertising injury. If the CGL coverage contains a General Aggregate Limit, such General Aggregate shall apply separately to each project.

Fort Schuyler Management Corporation ("FSMC"), the Research Foundation of State University of New York ("RF"), the State University of New York ("SUNY"), The SUNY College of Nanoscale Science and Engineering (CNSE), State University of New York Institute of Technology at Utica/Rome (SUNYIT), and the State of New York ("STATE") shall each be named as Additional Insureds on the Vendor's CGL policy using ISO Additional Insured endorsement CG 20 10 11 85, or CG 20 10 10 93 and CG 20 37 10 01, or CG 20 33 10 1 and CG 20 37 10 01, or an endorsement providing equivalent coverage to the Additional Insureds. This insurance for the Additional Insureds shall be as broad as the coverage provided for the named insured Vendor. This insurance for the Additional Insureds shall apply as primary and non-contributing insurance before any insurance or self-insurance, including any deductible, maintained by, or provided to, the Additional Insureds.

Vendor shall maintain CGL coverage for itself and all Additional Insureds for the duration of the project and shall maintain Completed Operations coverage for itself and each Additional Insured for at least 3 years after completion of the work.

- B. **Business Automobile Liability ("AL")** with limits of insurance of not less than \$1,000,000 each accident. AL coverage must include coverage for liability arising out of all owned, leased, hired and non-owned automobiles. FSMC, RF, SUNY, CNSE, SUNYIT, and STATE, shall each be named as Additional Insureds on the Vendor's AL policy. This insurance for the Additional Insureds shall be as broad as the coverage provided for the named insured Vendor. The AL coverage for the Additional Insureds shall apply as primary and non-contributing insurance before any insurance maintained by the Additional Insureds.
- C. **Workers Compensation ("WC")** Employers Liability and Disability benefit as required by New York State. Detailed information can be obtained by going to the link <http://www.wcb.state.ny.us/> Please note Accord form is NOT acceptable proof of insurance for Workers' Compensation, Employers Liability and Disability insurance. A C105.2, CE-200, or other WC officially sanctioned form is required.
- D. **Commercial Umbrella Liability ("UL")** with limits of insurance of not less than a limit of \$10,000,000. UL coverage must include as Additional Insureds all entities that are Additional Insureds on the CGL and the AL.
- E. **Property Insurance ("PI")** Vendor shall purchase and maintain for the duration of this agreement Property Insurance in the amount of \$6,000,000 that includes coverage for the personal property/equipment of others and/or property that is in the care, custody and control of Vendor.

This policy should provide "all-risk" coverage and shall include coverage for the perils of "testing", "calibrating" and "mechanical breakdown." FSMC and RF shall be named as Loss Payees on the PI policy maintained by Vendor.

- F. **Waiver of Subrogation:** Vendor waives all rights against FSMC, RF, SUNY, CNSE, SUNYIT, and STATE and their agents, officers, directors and employees for recovery of damages to the extent these damages are covered by CGL, AL, WC & EL PI or UL insurance maintained per the requirements stated above.
- G. **Certificate of Insurance:** Certificate of Insurance acceptable to FSMC, RF, SUNY, CNSE, SUNYIT, and STATE must be provided prior to commencement of the Vendor's work. A copy of the General Liability Additional Insured endorsement shall be attached to the Certificate of Insurance.

Certificate Holder: Fort Schuyler Management Corporation
SUNYIT
100 Seymour Road
Utica, New York 13502

- H. **Notice of Cancellation or Coverage Modification** to the certificate of insurance: No insurance policy required above shall be cancelled, modified allowed to expire, or reduced in coverage without at least 30 days prior written notice to the Foundation.
Notice of Cancellation to the Workers' Compensation and Disability benefit without at least 10 days prior written notice to the Foundation.

The obligation of Vendor to indemnify any party shall not be limited in any manner by any limitation of the amount of insurance coverage or benefits including workers' compensation or other employee benefit acts provided by Vendor.

2. **Indemnification Requirements**

Vendor shall indemnify, save, hold harmless and defend each of Fort Schuyler Management Corporation ("FSMC"), the Research Foundation of State University of New York ("RF"), the State University of New York ("SUNY"), The SUNY College of Nanoscale Science and Engineering (CNSE), State University of New York Institute of Technology at Utica/Rome (SUNYIT), and the State of New York ("STATE"), and the agents, directors, trustees, officers, employees, shareholders, members, and assigns of each of them (collectively, "Indemnatee") from and against any and all claims, damages, demands, actions, judgments, lawsuits, proceedings, assessments, liabilities, losses, penalties, costs and expenses (including, without limitation, reasonable attorneys' fees, costs and expenses), whether or not subject to litigation (collectively, "Indemnified Claims"), incurred by any Indemnatee in connection with the performance of this Agreement, or for any damage or destruction of property, or injury, sickness, disease or death to persons caused by any acts or omissions of Vendor's or its employees' or agents'.

Acknowledgement: By signing below, you acknowledge your organizations willingness to comply with these insurance and indemnification requirements should your organization be awarded the project.

x Michelle Keller Date: 6/13/14

Print Name: Michelle F. Keller, CLCS Title: Dir. of Risk Mgmt.

Project: For A Strategic Research, Technology Outreach, Business Development, Manufacturing, And Education And Training Partnership With A Qualified Local Developer In The Greater Rochester Area

ATTACHMENT D

Disclosure of Prior Findings of Non-Responsibility

New York State agency finding of non-responsibility during the previous four (4) years

Disclosure of Prior Findings of Non-Responsibility Form

Name of Entity of Responder seeking to enter into the Contract: Buckingham Properties LLC

Address: 259 Alexander Street, Rochester, NY 14607

Name and Title of Person Submitting this Form: Laurence C. Glazer, CEO & Managing Partner

1. Has any Governmental Entity made a finding of non-responsibility regarding the individual or entity seeking to enter into the Developer Contract in the previous four years? (Please circle):

No (If no, skip to question #5)

Yes (If yes, answer question #2, #3, & #4)

2. Was the basis for the finding of non-responsibility due to a violation of State Finance Law §139-j (Please circle):

No

Yes

3. Was the basis for the finding of non-responsibility due to the intentional provision of false or incomplete information to a Governmental Entity? (Please circle):

No

Yes

4. If you answered yes to any of the above questions, please provide details regarding the finding of non-responsibility below and attach additional pages as necessary.

Governmental Entity: _____

Date of Finding on Non-responsibility: _____

Basis of Finding of Non-responsibility: _____

5. Has any Governmental Entity or other governmental agency terminated or withheld a Contract with the above-named individual or entity due to the intentional provision of false or incomplete information? (Please circle):

No

Yes (If yes, answer question #6)

6. If yes, please provide details below and attach additional pages as necessary.

Governmental Entity: _____

Date of Termination or Withholding of Contract: _____

Basis of Termination or Withholding: _____

Responder certifies that all information provided to the Governmental Entity with respect to State Finance Law §139-k is complete, true and accurate.

By: Laurence C. Glazer

(Signature)

Name:

Handwritten signature of Laurence C. Glazer

ATTACHMENT D

Disclosure of Prior Findings of Non-Responsibility

New York State agency finding of non-responsibility during the previous four (4) years

Disclosure of Prior Findings of Non-Responsibility Form

Name of Entity of Responder seeking to enter into the Contract: LeChase Construction Services, LLC

Address: 205 Indigo Creek Drive, Rochester, NY 14626

Name and Title of Person Submitting this Form: Stephen L. Bills, Vice President

1. Has any Governmental Entity made a finding of non-responsibility regarding the individual or entity seeking to enter into the Developer Contract in the previous four years? (Please circle):

No (If no, skip to question #5)

Yes (If yes, answer question #2, #3, & #4)

2. Was the basis for the finding of non-responsibility due to a violation of State Finance Law §139-j (Please circle):

No

Yes

3. Was the basis for the finding of non-responsibility due to the intentional provision of false or incomplete information to a Governmental Entity? (Please circle):

No

Yes

4. If you answered yes to any of the above questions, please provide details regarding the finding of non-responsibility below and attach additional pages as necessary.

Governmental Entity: _____

Date of Finding on Non-responsibility: _____

Basis of Finding of Non-responsibility: _____

5. Has any Governmental Entity or other governmental agency terminated or withheld a Contract with the above-named individual or entity due to the intentional provision of false or incomplete information? (Please circle):

No

Yes (If yes, answer question #6)

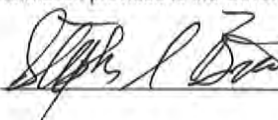
6. If yes, please provide details below and attach additional pages as necessary.

Governmental Entity: _____

Date of Termination or Withholding of Contract: _____

Basis of Termination or Withholding: _____

Responder certifies that all information provided to the Governmental Entity with respect to State Finance Law §139-k is complete, true and accurate.

By:  (Signature) Name: Stephen L. Bills

ATTACHMENT E

Disclosure of Lobbying Activity

Disclosure of any person or company that lobbied on your behalf in relation to this RFP.

Disclosure of Lobbyist Form

Solicitation or Contract Number:	Partnership with a Local Developer in the Greater Rochester Area
Name of Proposer or Contractor:	LeChase Construction Services, LLC
Address:	205 Indigo Creek Drive, Rochester, NY 14626
Name and Title of Person Submitting this Form:	Stephen L. Bills, Vice President
Is this an initial filing or an updated filing in?	<p>Section II. Agency and Authority Responsibilities</p> <p>1. Every covered agency and authority shall ensure that bid or proposal documents for procurement contracts include the name, address, telephone number, place of principal employment and occupation of every person or organization retained, employed or designated by or on behalf of the contractor to attempt to influence the procurement process and whether such person or organization has a financial interest in the procurement.</p> <p>2. Every covered agency and authority shall ensure that bid or proposal documents for procurement contracts shall include the name, address, telephone number, place of principal employment and occupation of every person or organization subsequently retained, employed or designated by or on behalf of the contractor to attempt to influence the procurement process and whether such person or organization has a financial interest in the procurement. Every covered agency and authority shall ensure that contractors shall inform the agency or authority of the identity of any such persons or organizations prior to such person or organization contacting a covered agency or authority.</p>
(Please indicate with an "X")	
Initial Filing	X
Updated Filing	
Date submitting this form:	7/11/14
The following person(s)* or organization was retained, employed or designated by or on behalf of the Proposer or Contractor to attempt to influence the procurement process:	
Name:	Jeff Lovell
Address:	121 State Street, Albany, NY 12207
Telephone Number:	518.432.3300
Place of Principal Employment:	Park Strategies, LLC
Occupation:	Lobbyist
Does the above named person or organization have a financial interest in the procurement?	
(Please indicate with an "X")	
Yes	
No	X

*Attach additional forms as necessary

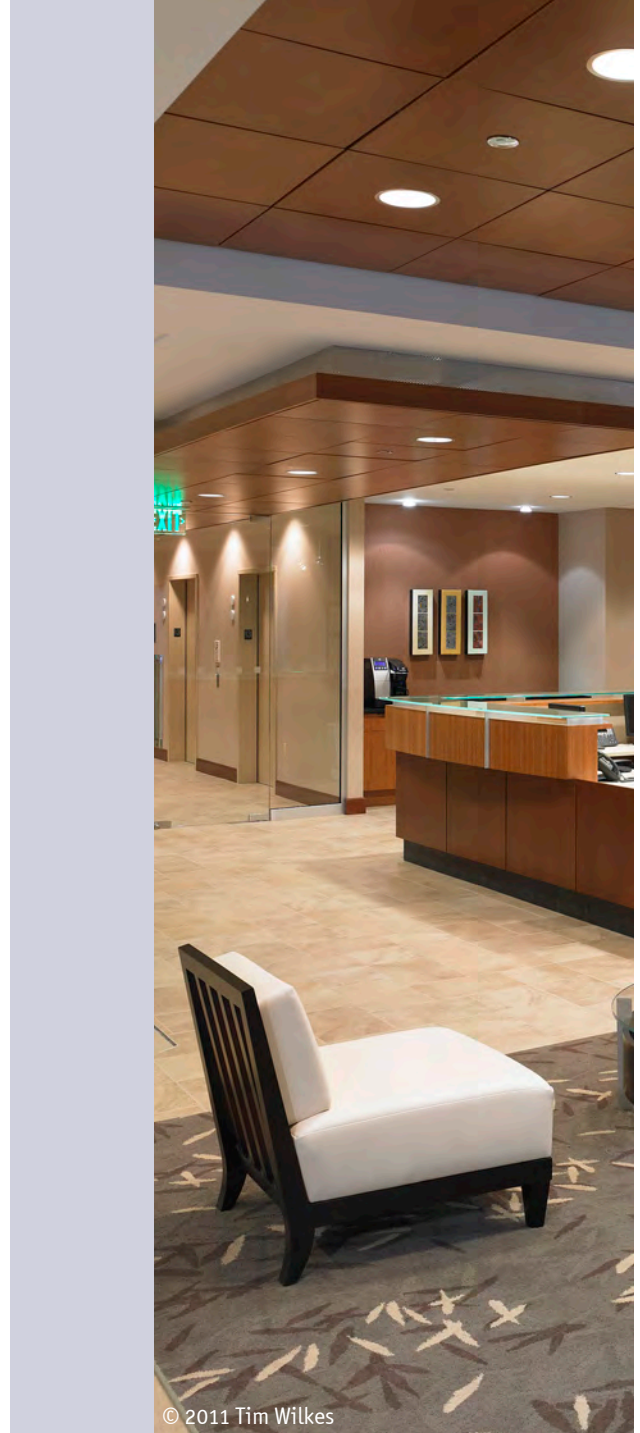


TEAM CONTACT

Buckingham-LeChase Development, LLC
Stephen L. Bills, LEED® AP
Vice President
steve.bills@leCHASE.com
p: 585.738.1820

Buckingham Properties
www.buckprop.com

LeChase Construction Services, LLC
www.leCHASE.com



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